

MAG NORTH

VIDE DP 25683

LOT 4 D.P. 15413

1 : 800 BAR SCALE AT A3 SIZE

PART LOT 6 D.P. 15413

ROAD

FIRE FIGHTING ACCESS
3.5 WIDE & 4 WIDE

EXISTING LOT BOUNDARIES
SHOWN DASHED.

NOTE: DIMENSIONS & AREAS ARE APPROXIMATE AND ARE SUBJECT
TO COUNCIL APPROVAL AND FINAL SURVEY.

NOTE: CONTOURS OVER LOT 1, 2 & 100 AND ADJOINING LAND
ARE APPROXIMATE AND DERIVED FROM ORTHOPHOTO MAP.

SCALE :- 1 : 800 AT A3 PLAN SIZE.

DATUM:- AHD

DATE OF PARTIAL SITE SURVEY : - NOV 2003

FILE REF:- 13657

DRAWING FILE: DWG13657

CLIENT:- JOHN PEETZ

PEETE.DWG

PLAN ALSO SHOWS POSITION OF
PROPOSED DWELLINGS AND DRIVEWAYS.

LAYOUT PLAN Dated: 7 SEPT 2009
OF PROPOSED BOUNDARY REALIGNMENT
OF LOTS 3, 4, 5, 6 AND 9 IN D.P. 25683.
THE SCENIC ROAD, MACMASTERS BEACH.

BISSETT & WRIGHT PTY LTD

CONSULTING SURVEYORS

SUITE 3 71A VICTORIA STREET, EAST GOSFORD, 2250.

PH 02 43243799 FAX 02 43247941

EMAIL: bw1 @ netspace.net.au

MAG NORTH

VIDE DP 25683

LOT 4 D.P. 15413



PART LOT 6 D.P. 15413

ROAD

FIRE FIGHTING ACCESS
3.5 WIDE & 4 WIDE

EXISTING LOT BOUNDARIES
SHOWN DASHED.

NOTE: DIMENSIONS & AREAS ARE APPROXIMATE AND ARE S
TO COUNCIL APPROVAL AND FINAL SURVEY.

NOTE: CONTOURS OVER LOT 1, 2 & 100 AND ADJOINING LA
ARE APPROXIMATE AND DERIVED FROM ORTHOPHOTO

SCALE :- 1 : 800 AT A3 PLAN

DATUM:- AHD

DATE OF PARTIAL SITE SURVEY :- NOV 2003

FILE REF:- 13657

DRAWING FILE: DW

CLIENT:- JOHN PEETZ

PEETZ.DW

PLAN ALSO SHOWS POSITION OF
PROPOSED DWELLINGS AND DRIVEWAYS.

LAYOUT PLAN Dated: 7 SEPT 2009
OF PROPOSED BOUNDARY REALIGNMENT
OF LOTS 3, 4, 5, 6 AND 9 IN D.P. 25683.
THE SCENIC ROAD, MACMASTERS BEACH.

BISSETT & WRIGHT PTY LTD

CONSULTING SURVEYORS

SUITE 3 71A VICTORIA STREET, EAST GOSFORD, 222

PH 02 43243799 FAX 02 43247941

EMAIL bw1@netspace.net.au

SITE PLAN SHOWING PREFERRED EFFLUENT MANAGEMENT AREA

- Effluent Irrigation Area
- Greywater Treatment System
- Blackwater Treatment System

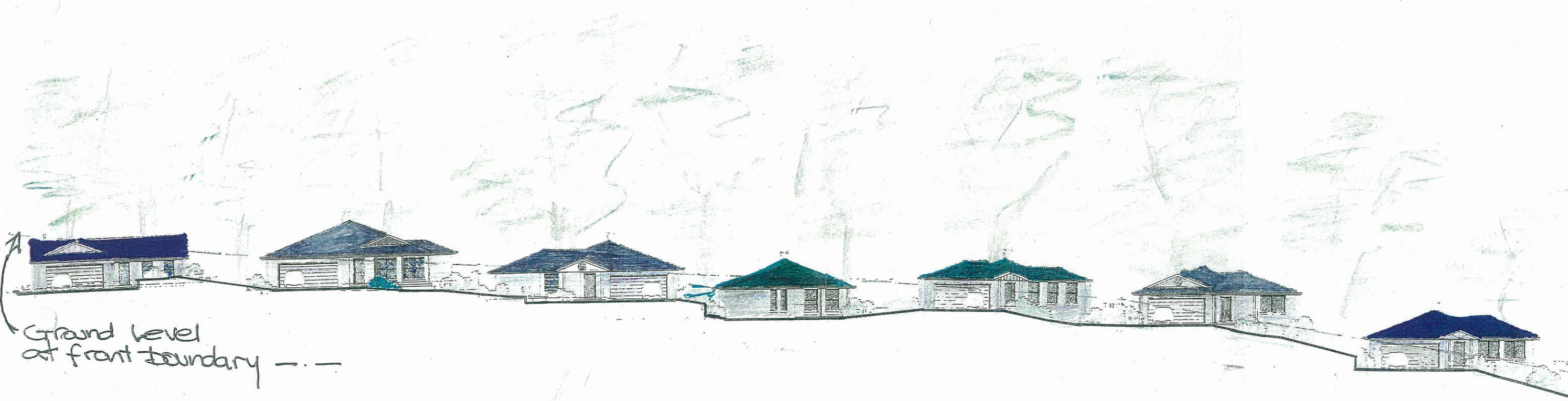
- Bore holes
- 40 m Buffer From Dam
- Stormwater Diversion Berm

- Easement Area for each lot
- A, B, C, D & E Lot Easements

**Whitehead & Associates
Environmental
Consultants Pty Ltd**

Project: The Scenic Road Macmasters Beach
Drawn: Shann Mitchell
Date: 20 October 2010
Scale: Not to Scale





Ground level
at front boundary ---

Streetscape View
Proposed Dwellings
Lots 7, 8, 10, 11, 100, 101 and 102
The Scenic road Macmasters Beach

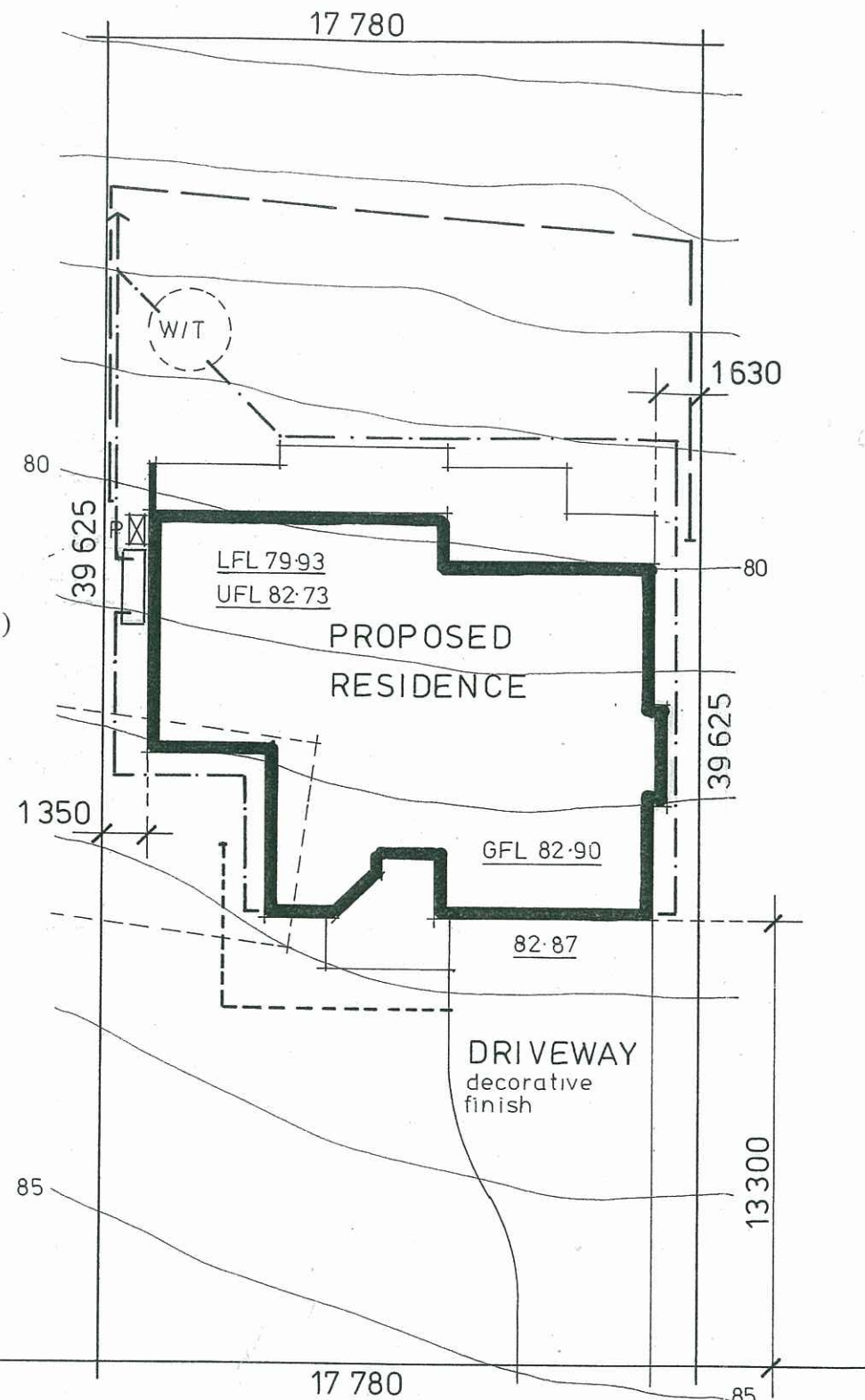
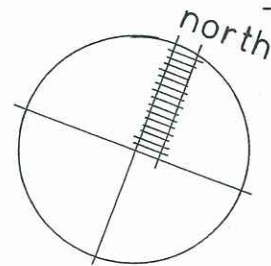
PROPOSED RESIDENCE

Upper Floor Level	110.39 sq.m.
Lower Floor Level	82.10 sq.m.
Double Garage	42.43 sq.m.
Front Verandah	3.38 sq.m.
Upper Deck / Verandah	28.51 sq.m.
Lower Deck / Verandah	10.00 sq.m.

Total Development Area: 276.81 sq.m.

Maximum Floor Space Ratio: 0.5 : 1 (352 sq.m.)

Actual Floor Space Ratio: 0.26 : 1 (192.49 sq.m.)



T H E S C E N I C R O A D

SITE DEVELOPMENT PLAN 1:200

PROPOSED LOT 101

704 sq.m.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

Minimum 10,000 litre static water supply tank

Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

Existing trees to be retained ./ protected during construction

Existing trees to be removed to allow for proposed residence

82.67 Finished ground levels

Existing derelict structure to be removed

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 101**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

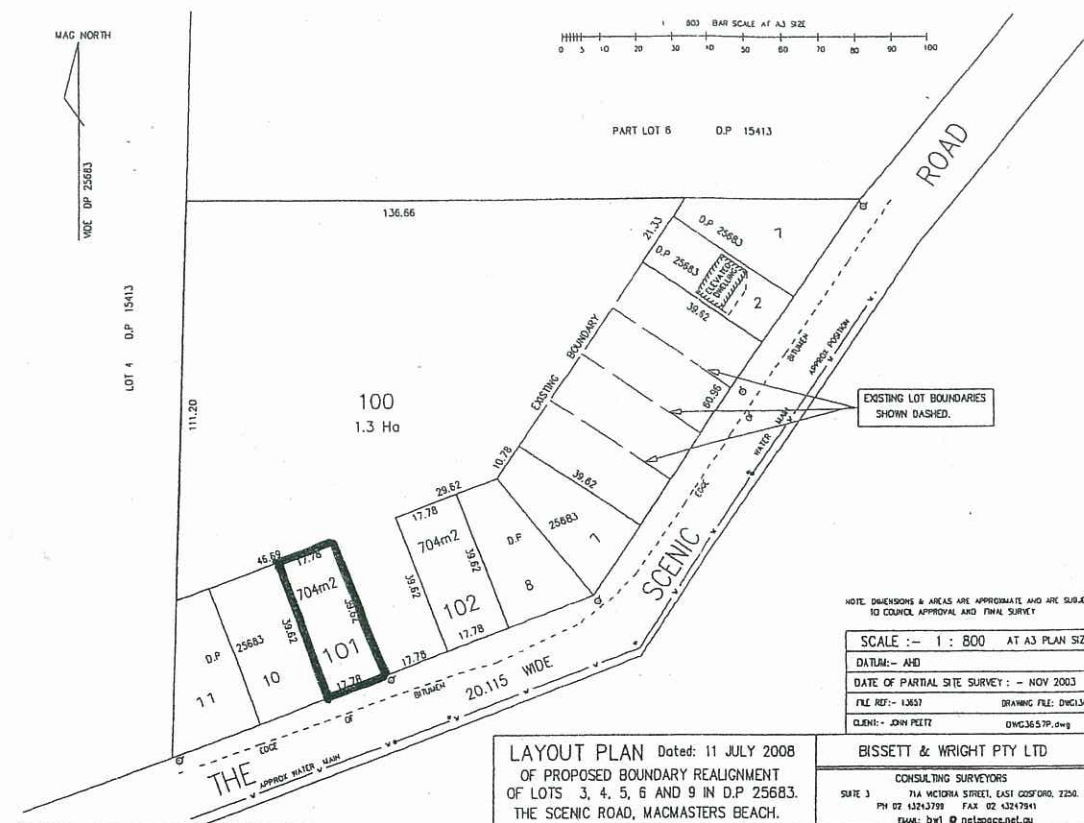
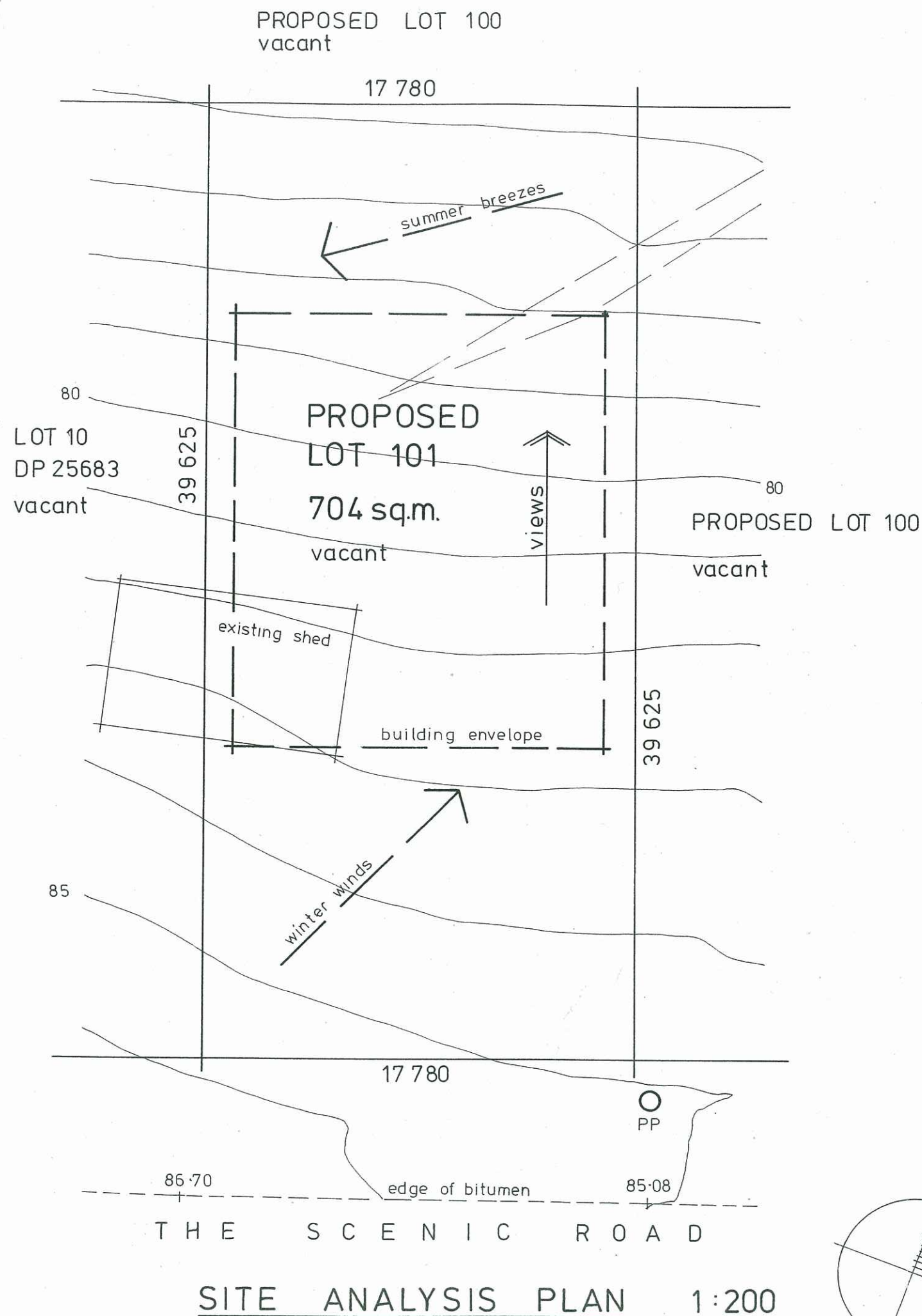
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 1 of 9

6715463



The site is currently vacant but has a derelict structure being within the site and the adjoining western property.

Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD – refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site

Prevailing summer breezes are from the north - east

Prevailing winter winds are from the south - west

Adjoining sites are currently vacant of residences but do have derelict structures

Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

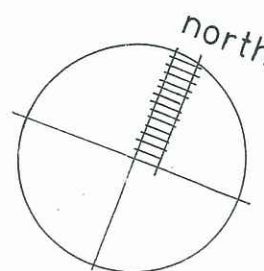
Location: **PROPOSED LOT 101**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 2 of 9



GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes

The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 190square metres of roof.

- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 3Star Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

- HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

- Nil

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor # 20003 Certificate # 68249250 Issued: 11-Sep-08

Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
37m		Single clear	Aluminium	3mm Clr Uw<=7.727	SHGC 0.778+-10%		

Skylights	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
-----------	------------	-------	-------	---------	------	--------	--------

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

External walls Construction	Insulation	Colour - Solar absorptance	Detail
Brick Veneer	R1.5	Light - SA <0.475	

Internal walls Construction	Insulation	Detail
Plasterboard on Studs	None	
Brick plastered	None	

Floors Construction	Insulation	Covering	Detail
Concrete	None	Carpet	
Concrete	None	Ceramic Tile	

Ceilings Construction	Insulation	Detail
Plasterboard	R3.0	As per detail on plans
Plasterboard	None	intermediate floor-ceilings

Roof Construction	Insulation	Colour	Detail
Roofing Tiles	Foil (Sisalation)	Dark - SA > 0.7	

Window cover	Internal (curtains)	External (awnings, shutters, etc)
None		None

Fixed shading	Eaves (width - inc. gutters, height above window)	Verandahs, Pergolas (type, description)
450	0 600mm Overall	100 percent As per detail on plans

Overshadowing	Overshadowing structures	Overshadowing trees
---------------	--------------------------	---------------------

Orientation, Exposure, Ventilation and Insulation			
Orientation of nominal north	340	Living area open to entry	Yes
Terrain category	Suburban	Living area separated by doors	Yes
Roof ventilation	None	Skylights to heated areas	Yes
Cross ventilation	None	Seals to windows and doors	Yes
Subsidiary ventilation	None	Exhaust fans without dampers	No

20003	68249250
Assr #	Cert #
Sign	Date

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with
Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

**Construction and insulation as per ABSA Specification as prepared by
Solar Smart of Swansea.**

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

**All work to be done in accordance and must comply with
AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.**

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

**All fire protection requirements to be done in accordance with the Bushfire
Protection Assessment report as prepared by Australian Bushfire Protection
Planners Pty Limited of Somersby.**

PROPOSED RESIDENTIAL DEVELOPMENT

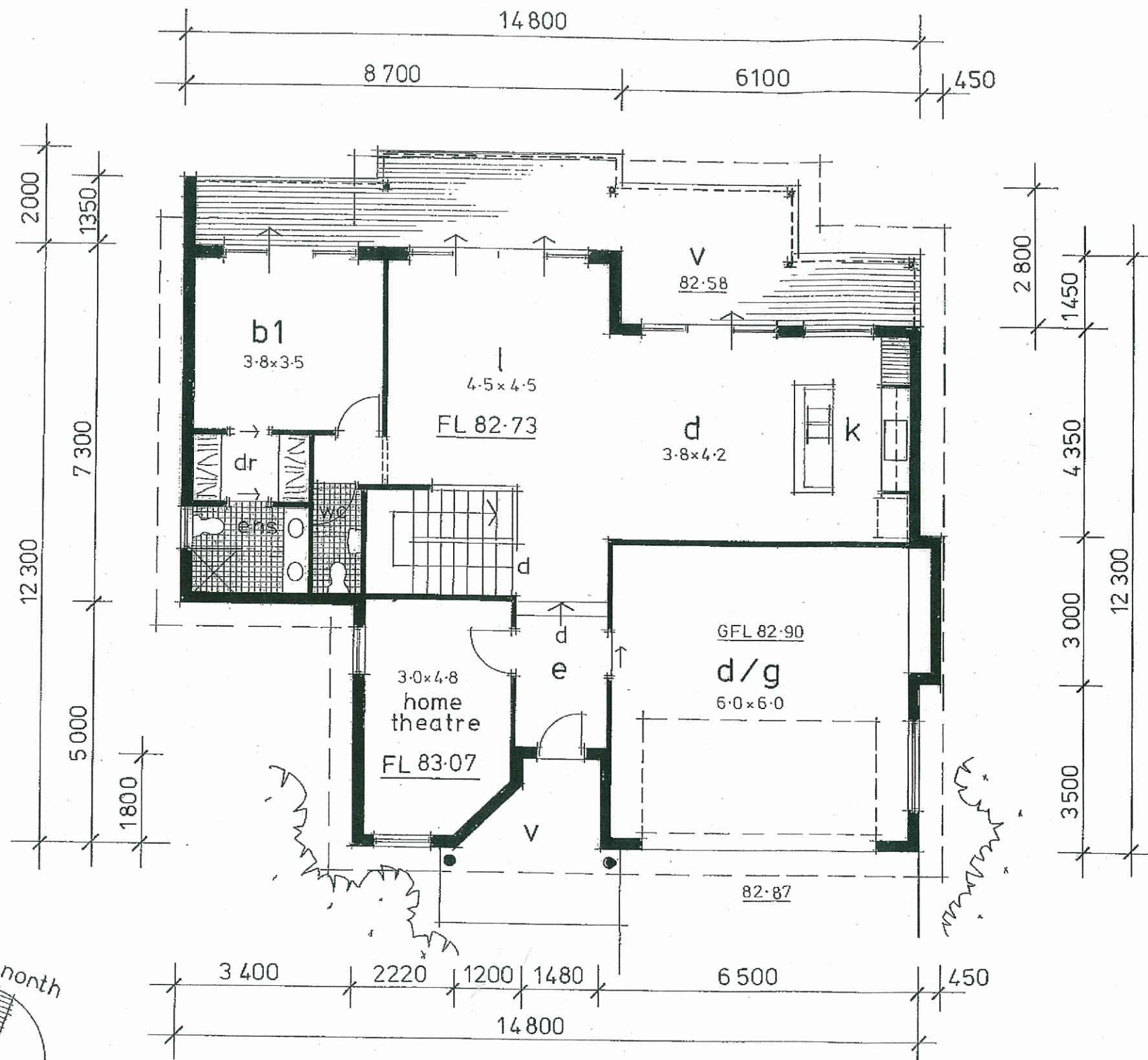
Location: **PROPOSED LOT 101**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 4 of 9



UPPER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010



PROPOSED RESIDENTIAL DEVELOPMENT

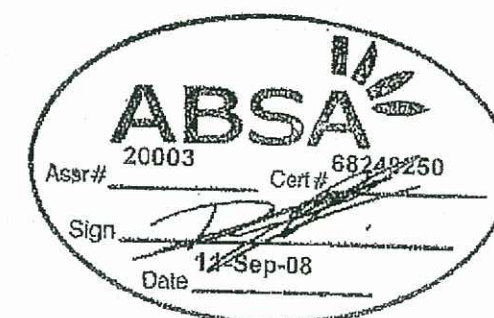
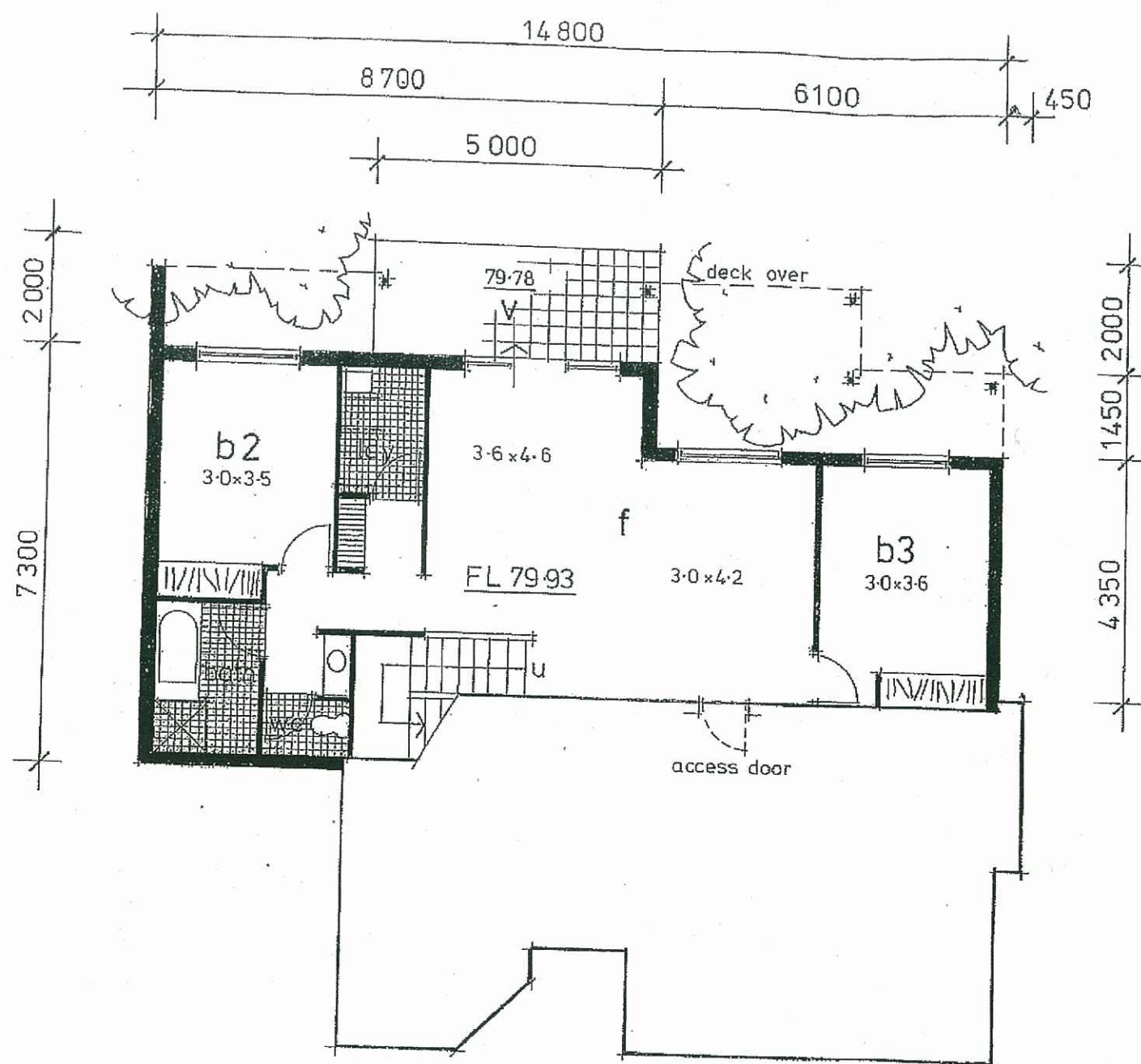
Location: **PROPOSED LOT 101**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 5 of 9A



LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

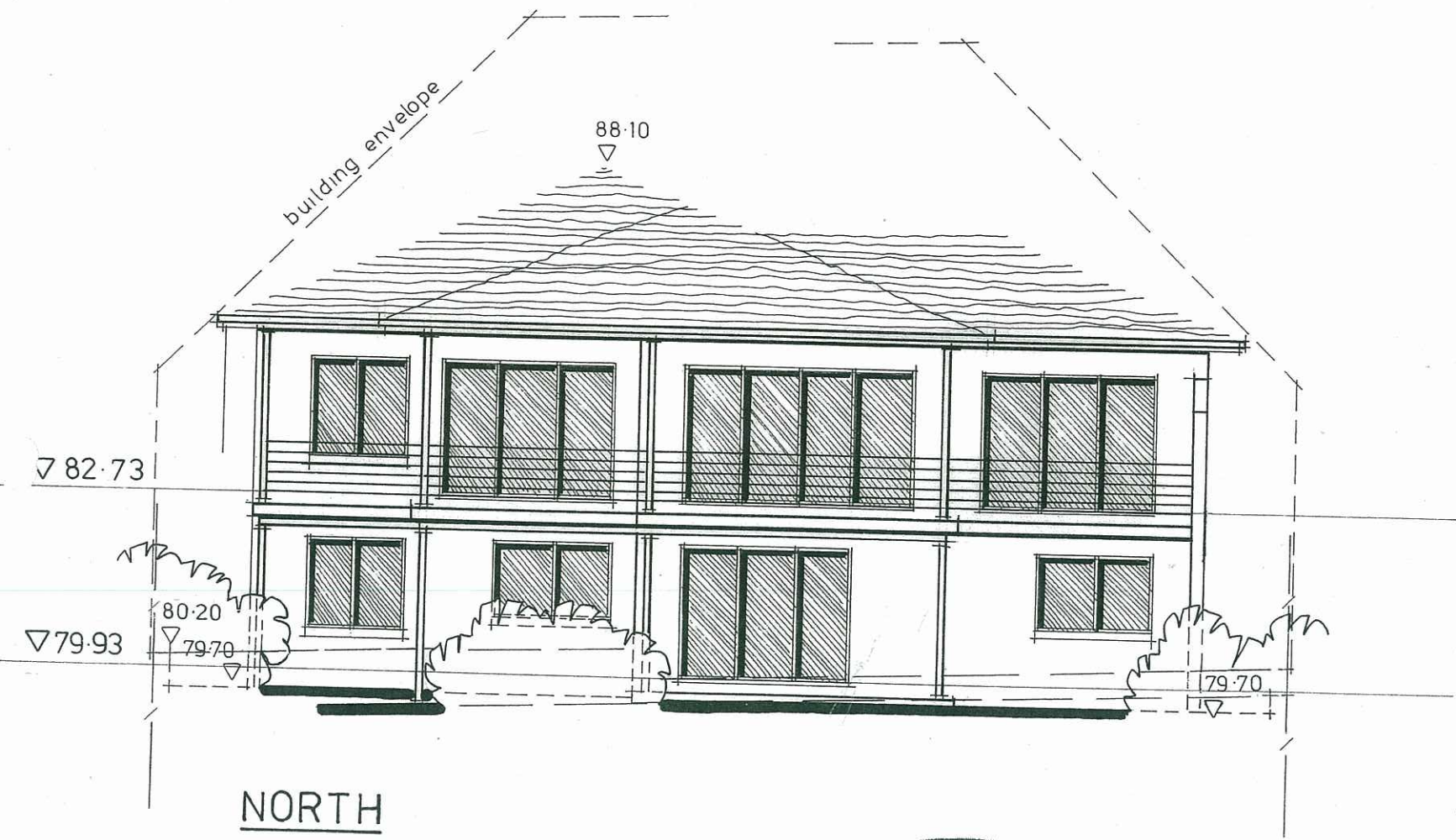
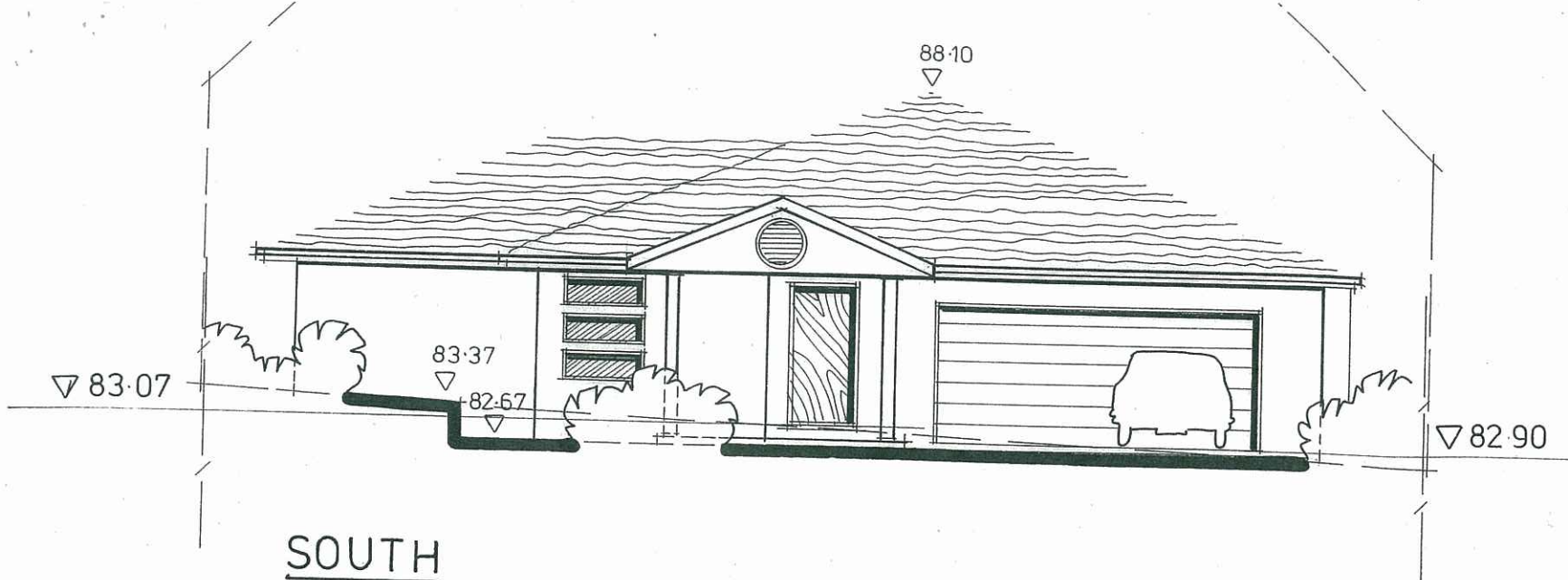
Location: PROPOSED LOT 101
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No. 6 of 9 A



ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Study	400	1200	3 fixed panels
W2	Garage	900	1800	S/W
W3	Kitchen	1500	1500	S/W
W4	Ensuite	900	900	A/W – O/G
W5	Study	1800	900	D/H
W6	Bedroom 4	1500	1500	S/W
W7	Bedroom 3	1200	1800	S/W
W8	Bedroom 2	1200	1800	S/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Dining	2700
Lounge	3600
Bedroom 1	2700
Family	2700

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Assessment Report and AS 3959 – 1999 ‘Construction of Buildings in Bushfire Prone Areas.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

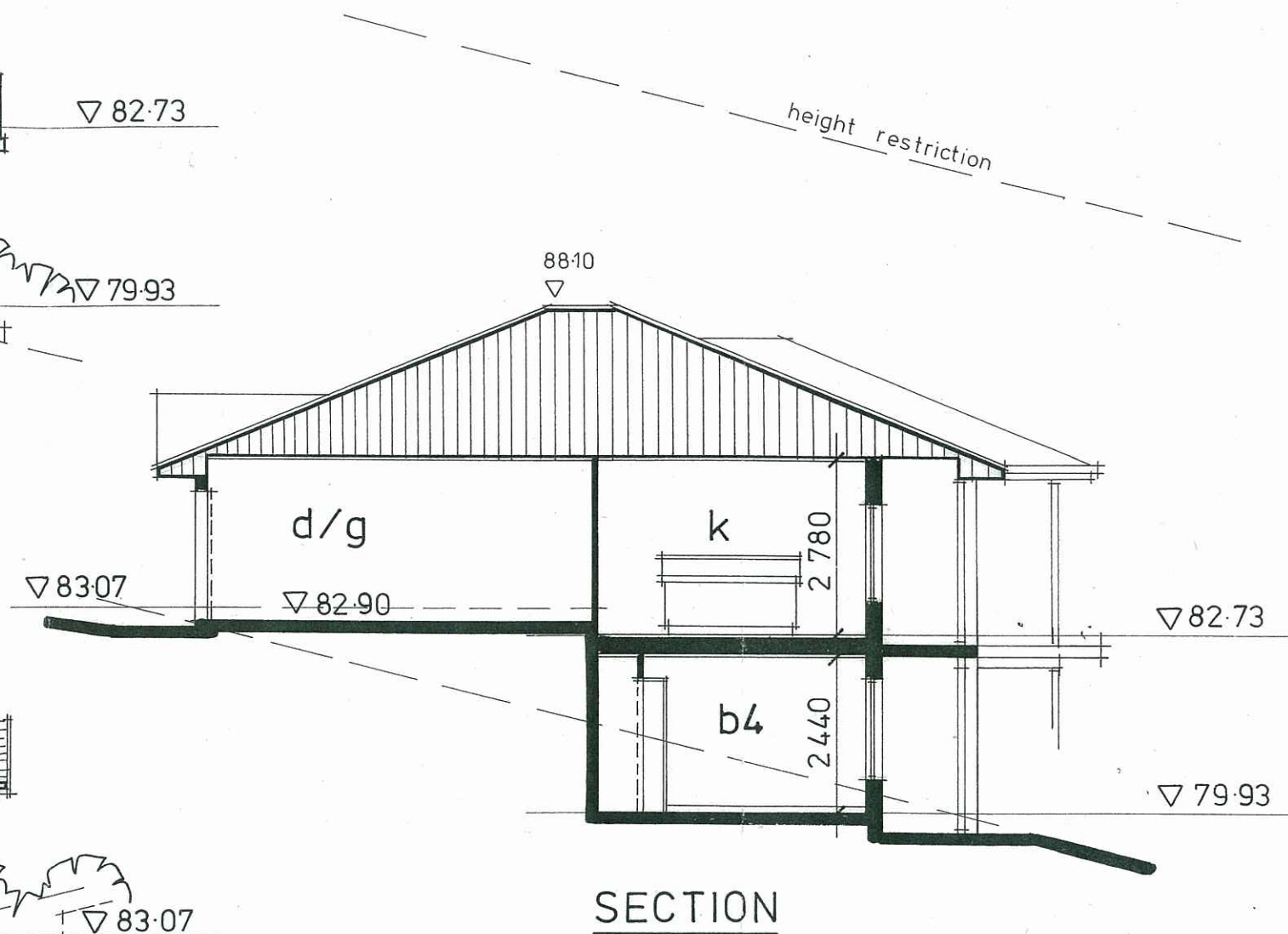
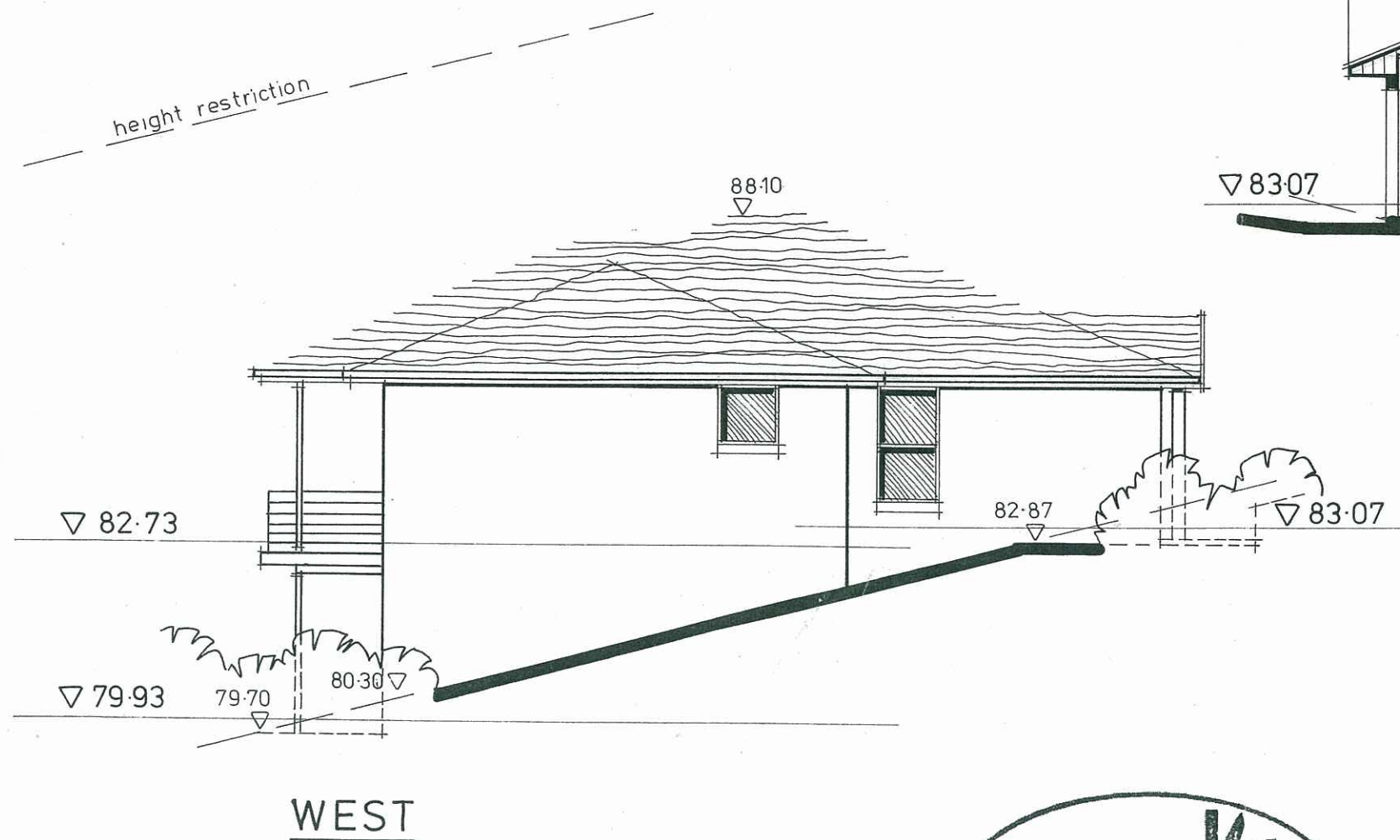
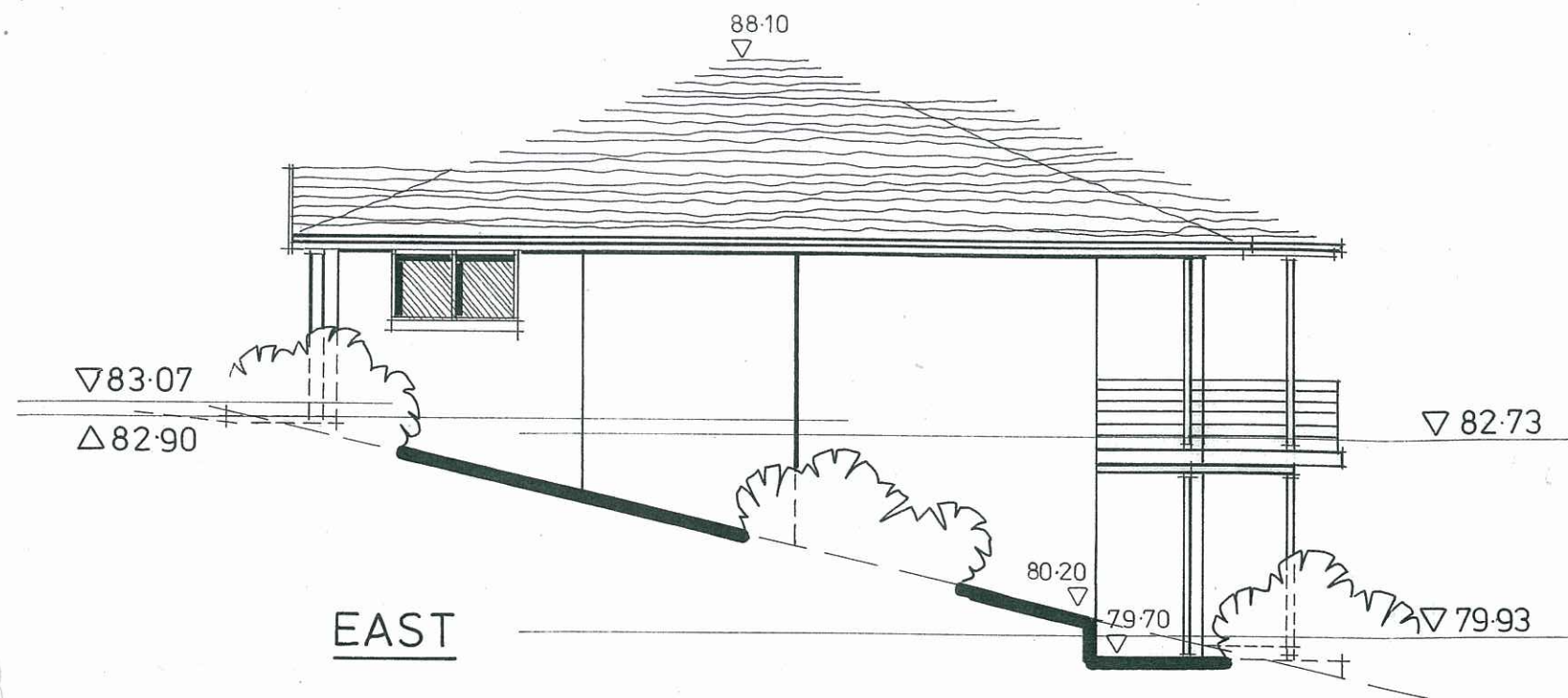
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9





Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 101**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

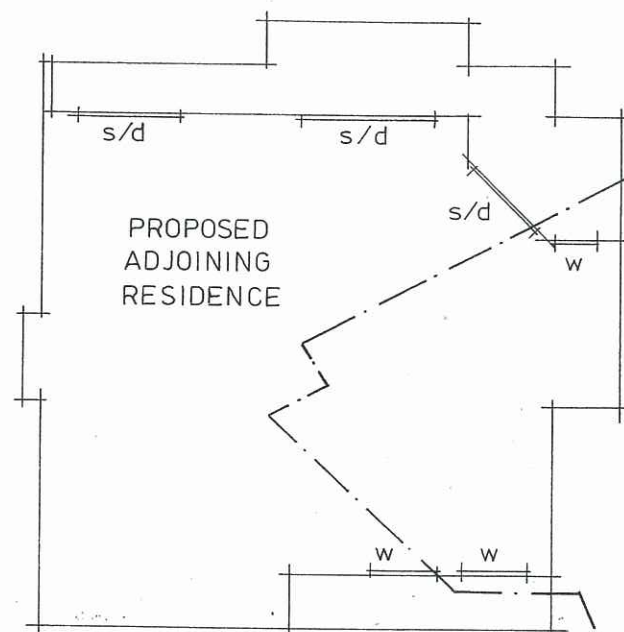
Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

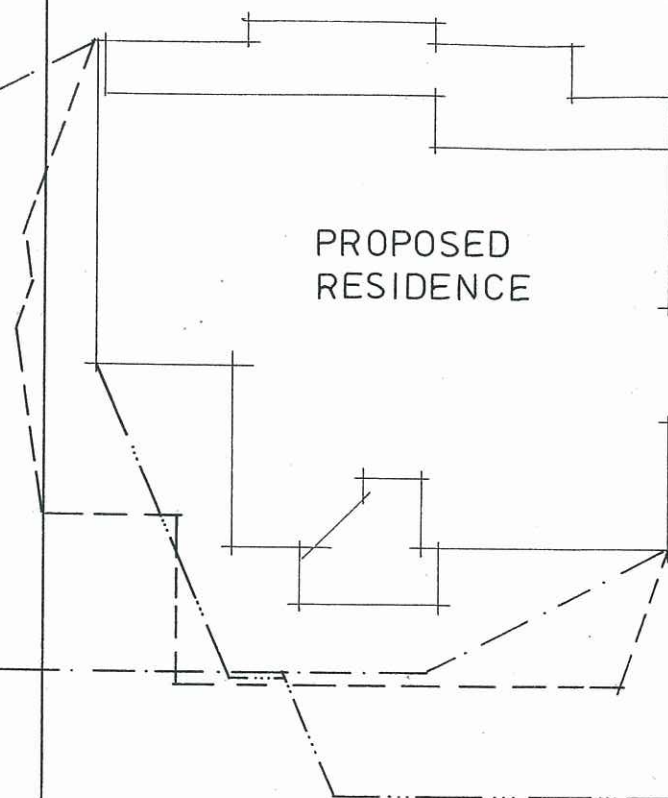
Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9

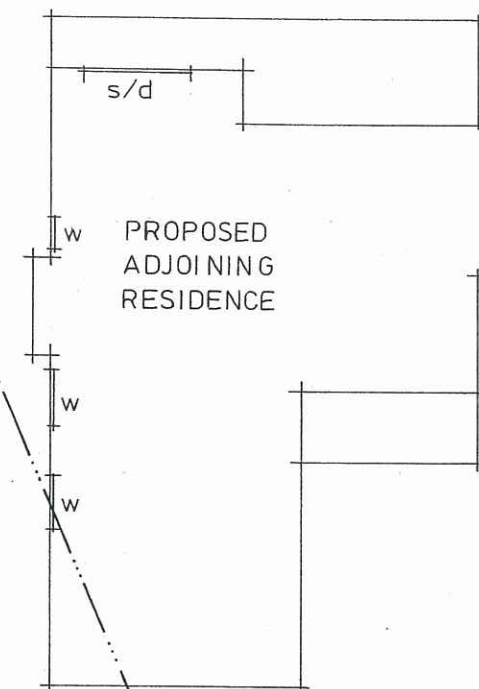




LOT 10



PROPOSED LOT 101



PROPOSED LOT 100

SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

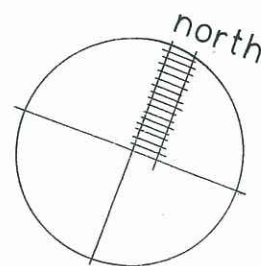
— · — · — 9 am

— — — — — 12 noon

— · · · — · · · 3 pm

T H E S C E N I C R O A D

SHADOW DIAGRAM 1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 101**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 9 of 9

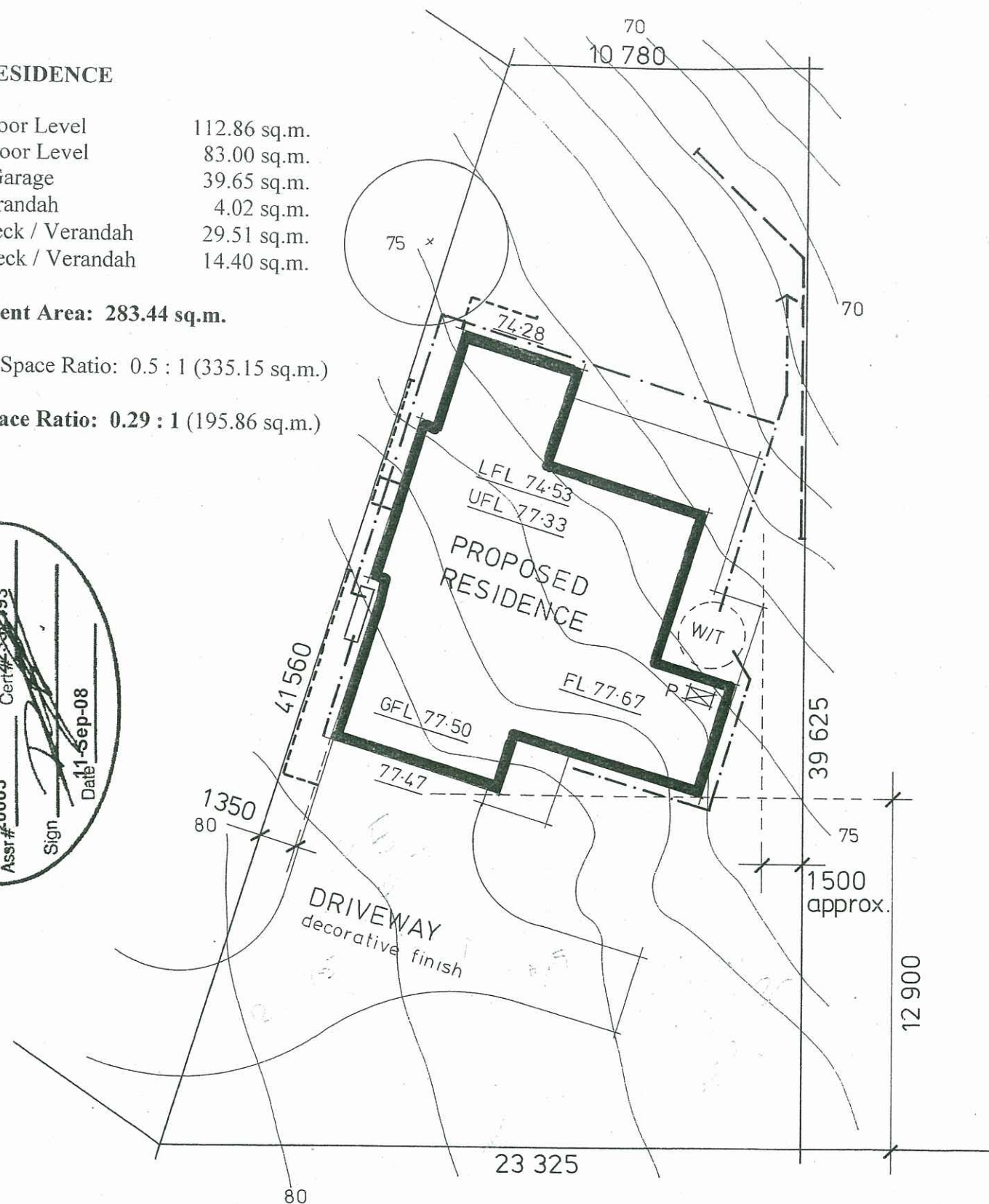
PROPOSED RESIDENCE

Upper Floor Level	112.86 sq.m.
Lower Floor Level	83.00 sq.m.
Double Garage	39.65 sq.m.
Front Verandah	4.02 sq.m.
Upper Deck / Verandah	29.51 sq.m.
Lower Deck / Verandah	14.40 sq.m.

Total Development Area: 283.44 sq.m.

Maximum Floor Space Ratio: 0.5 : 1 (335.15 sq.m.)

Actual Floor Space Ratio: 0.29 : 1 (195.86 sq.m.)



T H E S C E N I C R O A D

SITE DEVELOPMENT PLAN 1:200

LOT 7 in DP 25683
670.3 sq.m.

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

W/T Minimum 10,000 litre static water supply tank

P Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

Existing trees to be retained ./ protected during construction

Existing trees to be removed to allow for proposed residence

77.47 Finished ground levels

Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **LOT 7 in DP 25683**

THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 1 of 9

6715461

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA Section 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes

The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 190square metres of roof.

- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 3Star Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

- HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

- Nil

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	20003	Certificate #	22332193	Issued: 11-Sep-08
------------	-------	---------------	----------	-------------------

Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
44m		Single clear	Aluminium	3mm Clr Uw<=7.727	SHGC 0.778~10%		

Skylights	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
-----------	------------	-------	-------	---------	------	--------	--------

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

External walls	Construction	Insulation	Colour - Solar absorptance	Detail
Brick Veneer		R1.5	Light - SA <0.475	

Internal walls	Construction	Insulation	Detail
Plasterboard on Studs		None	
Brick plastered		None	

Floors	Construction	Insulation	Covering	Detail
Concrete		None	Carpet	
Concrete		None	Ceramic Tile	

Ceilings	Construction	Insulation	Detail
Plasterboard		R3.0	As per detail on plans
Plasterboard		None	intermediate floor-ceilings

Roof	Construction	Insulation	Colour	Detail
Roofing Tiles		Foil (Sisalation)	Dark - SA > 0.7	


Window cover	Internal (curtains)	External (awnings, shutters, etc)
None		None

Fixed shading	Eaves (width - inc. gutters, height above window)	Verandahs, Pergolas (type, description)
450	0 600mm Overall	100 percent As per detail on plans

Overshadowing	Overshadowing structures	Overshadowing trees
---------------	--------------------------	---------------------

Orientation, Exposure, Ventilation and Insulation			
Orientation of nominal north	0	Area open to entry:	Yes
Terminates	Sub	Window areas separated by doors	Yes
Roof ventilation	Unobstructed	Stair open to heated areas:	Yes
Cross ventilation	Unobstructed	Seals to windows and doors:	Yes
Subfloor ventilation	On ground	Exhaust fans without dampers:	No

Assr# 20003 Cert 22332193

Sign 

Date 11-Sep-08

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with
Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

**Construction and insulation as per ABSA Specification as prepared by
Solar Smart of Swansea.**

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

**All work to be done in accordance and must comply with
AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.**

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

**All fire protection requirements to be done in accordance with the Bushfire
Protection Assessment report as prepared by Australian Bushfire Protection
Planners Pty Limited of Somersby.**

PROPOSED RESIDENTIAL DEVELOPMENT

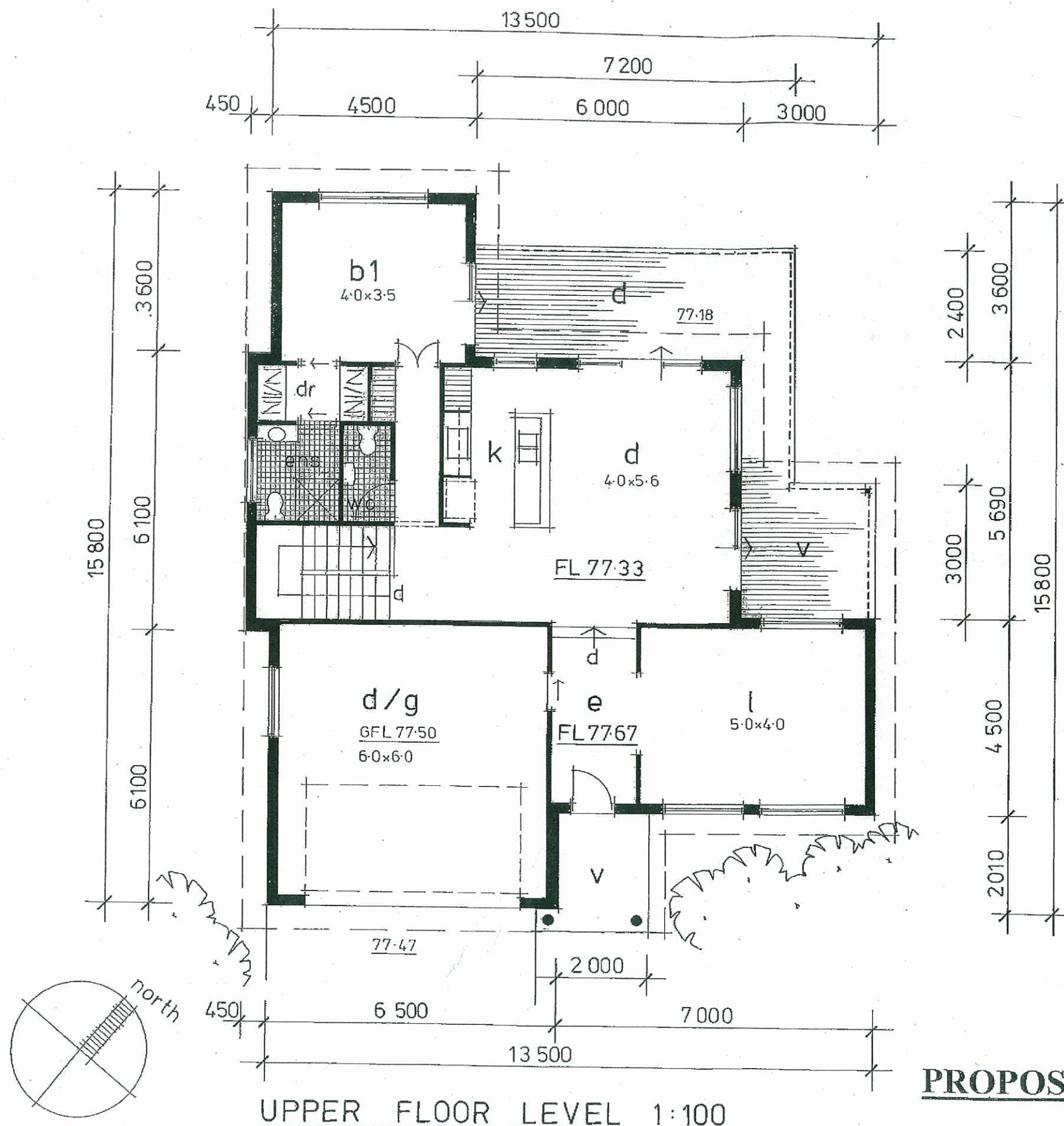
Location: **LOT 7 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.**

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

**Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866**

Drawing No 4 of 9



Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

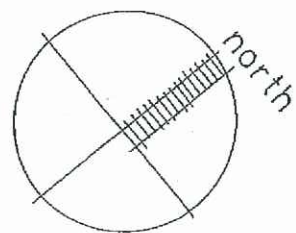
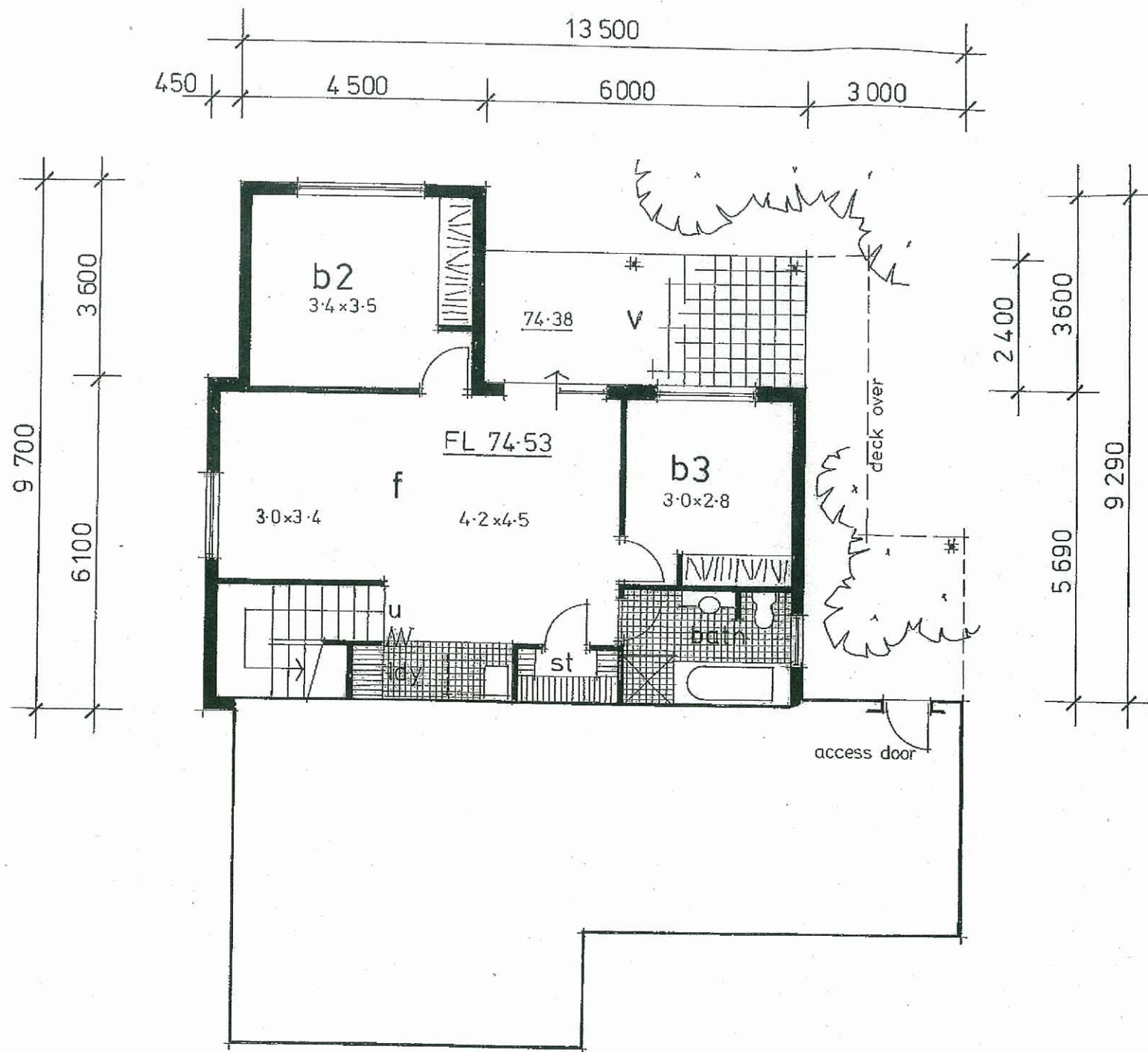
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 5 of 7





LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010



PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 6 of 9A

ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Lounge	1500	1800	S/W
W2	Lounge	1500	1800	S/W
W3	Lounge	1500	1800	S/W
W4	Dining	1500	1800	S/W
W5	Kitchen	1500	900	A/W
W6	Bedroom 1	1200	2400	S/W
W7	Ensuite	900	1500	S/W - O/G
W8	Garage	900	1500	S/W
W9	Bathroom	1200	900	D/H - O/G
W10	Bedroom 3	1200	1800	S/W
W11	Bedroom 2	1200	2400	S/W
W12	Bedroom 4	900	1500	S/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Dining	1800
Dining	2700
Bedroom 1	1800
Family	1800

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Assessment Report and AS 3959 - 1999 'Construction of Buildings in Bushfire Prone Areas.

PROPOSED RESIDENTIAL DEVELOPMENT

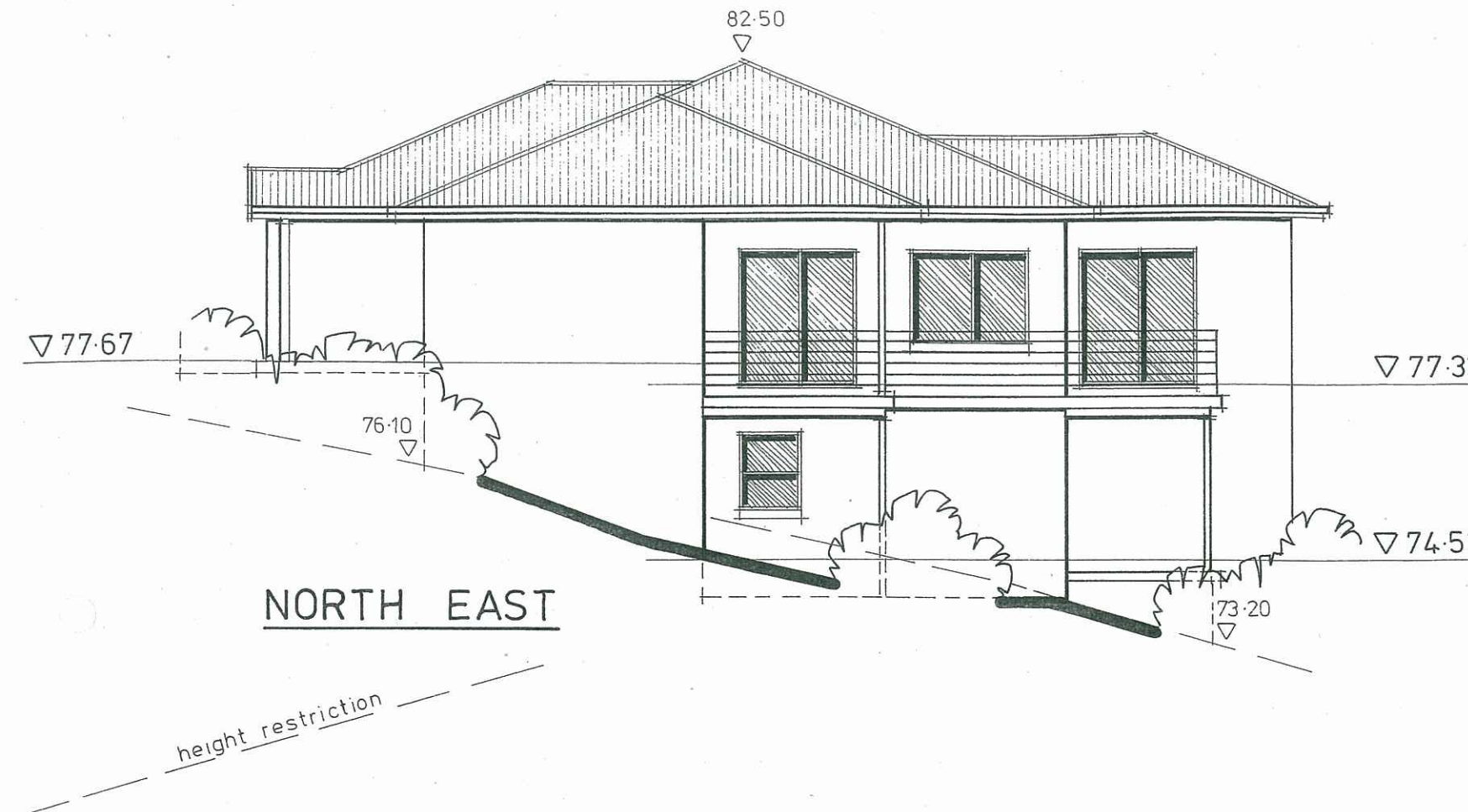
Location: LOT 7 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

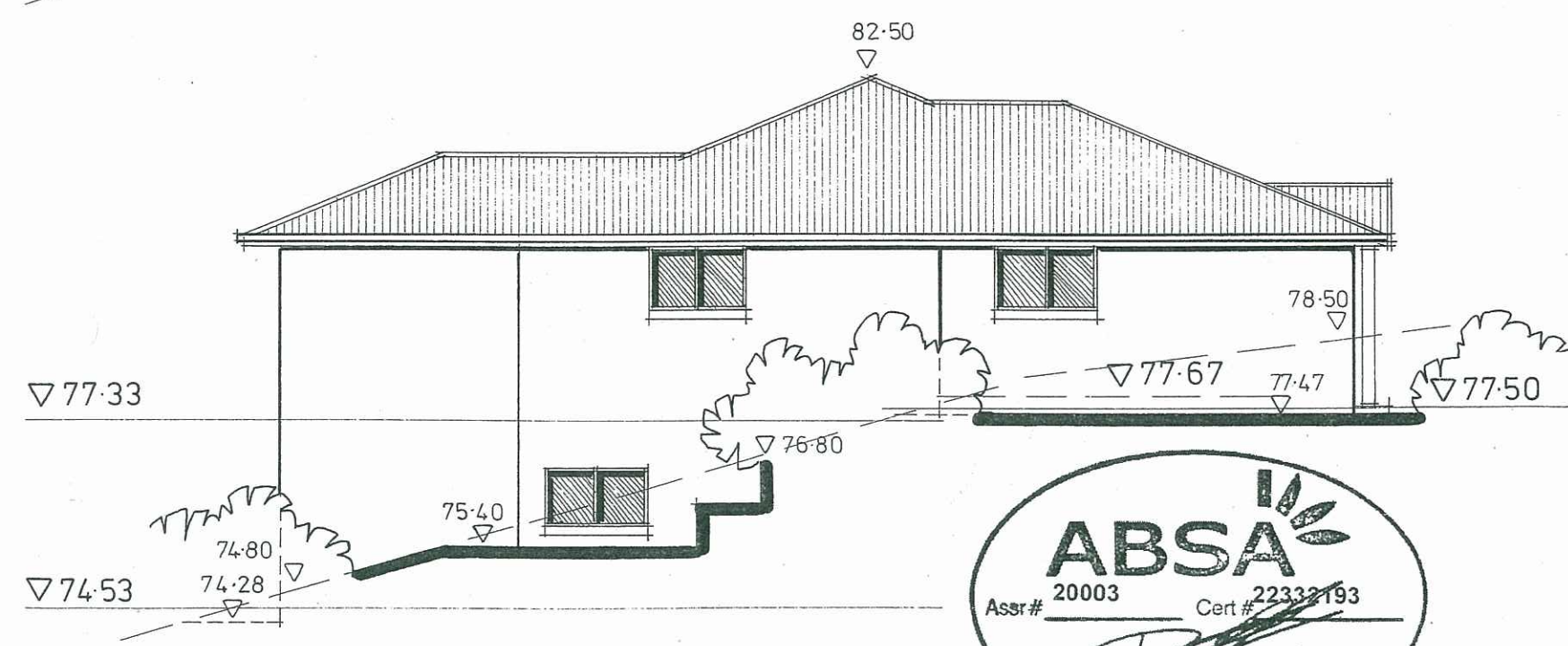
September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9



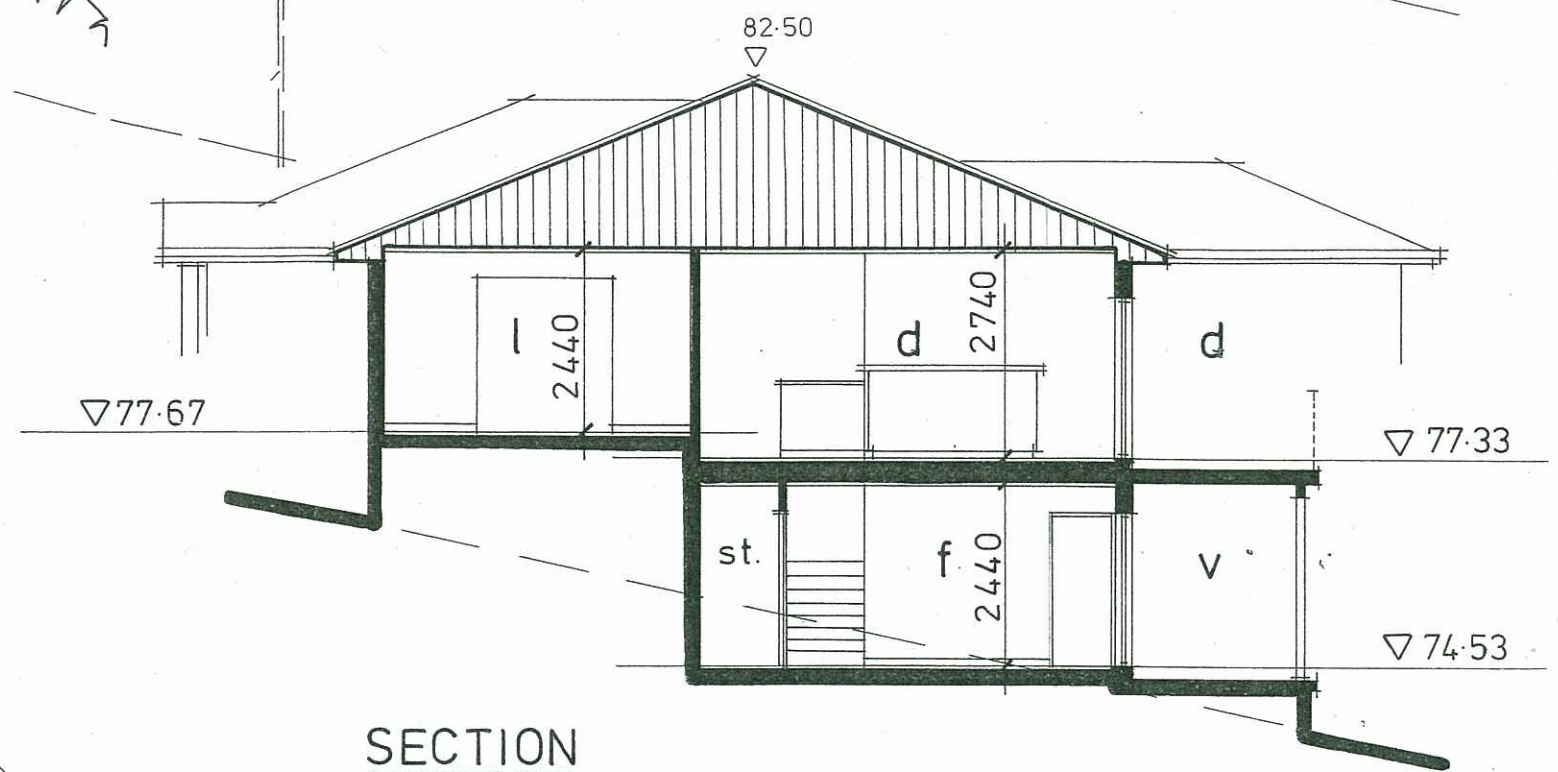
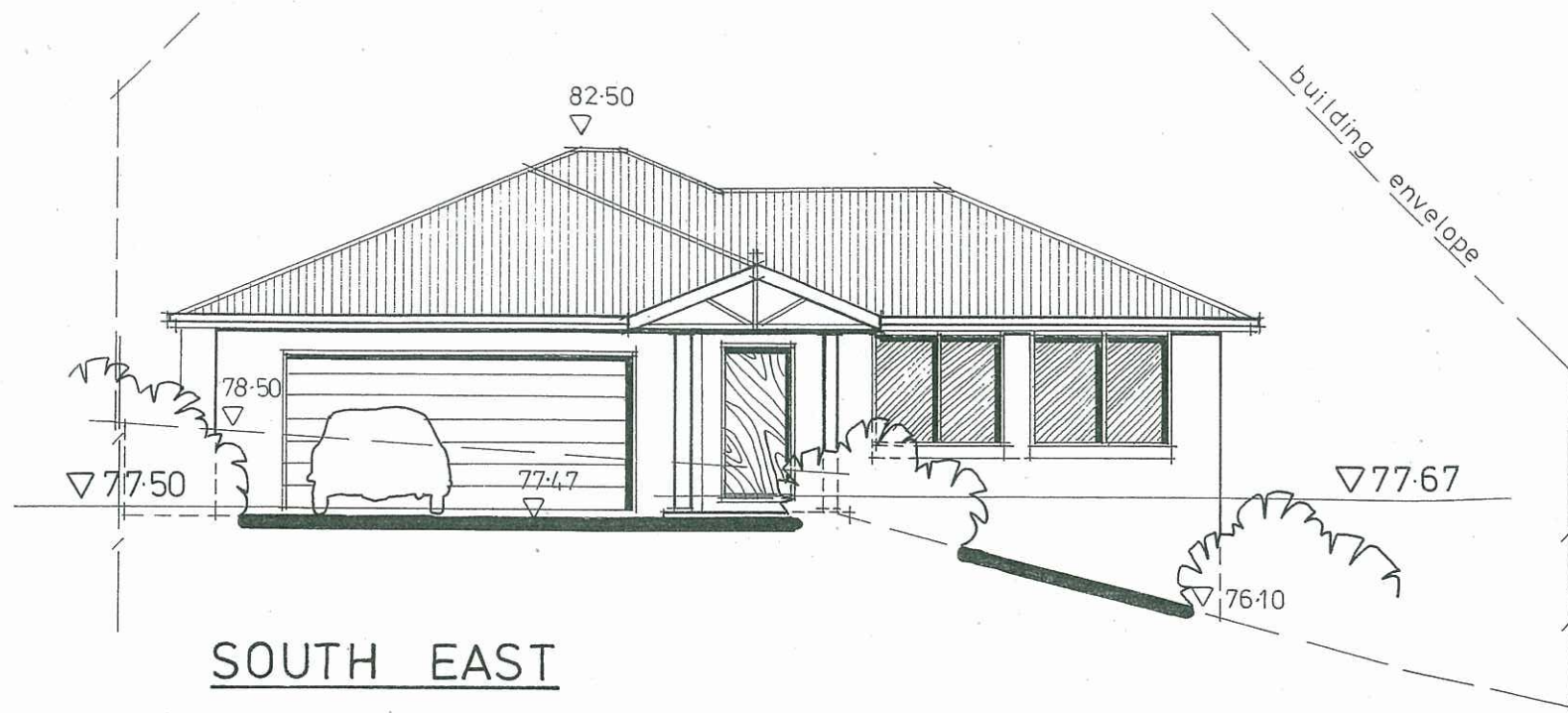
NORTH EAST



SOUTH WEST

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.





PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

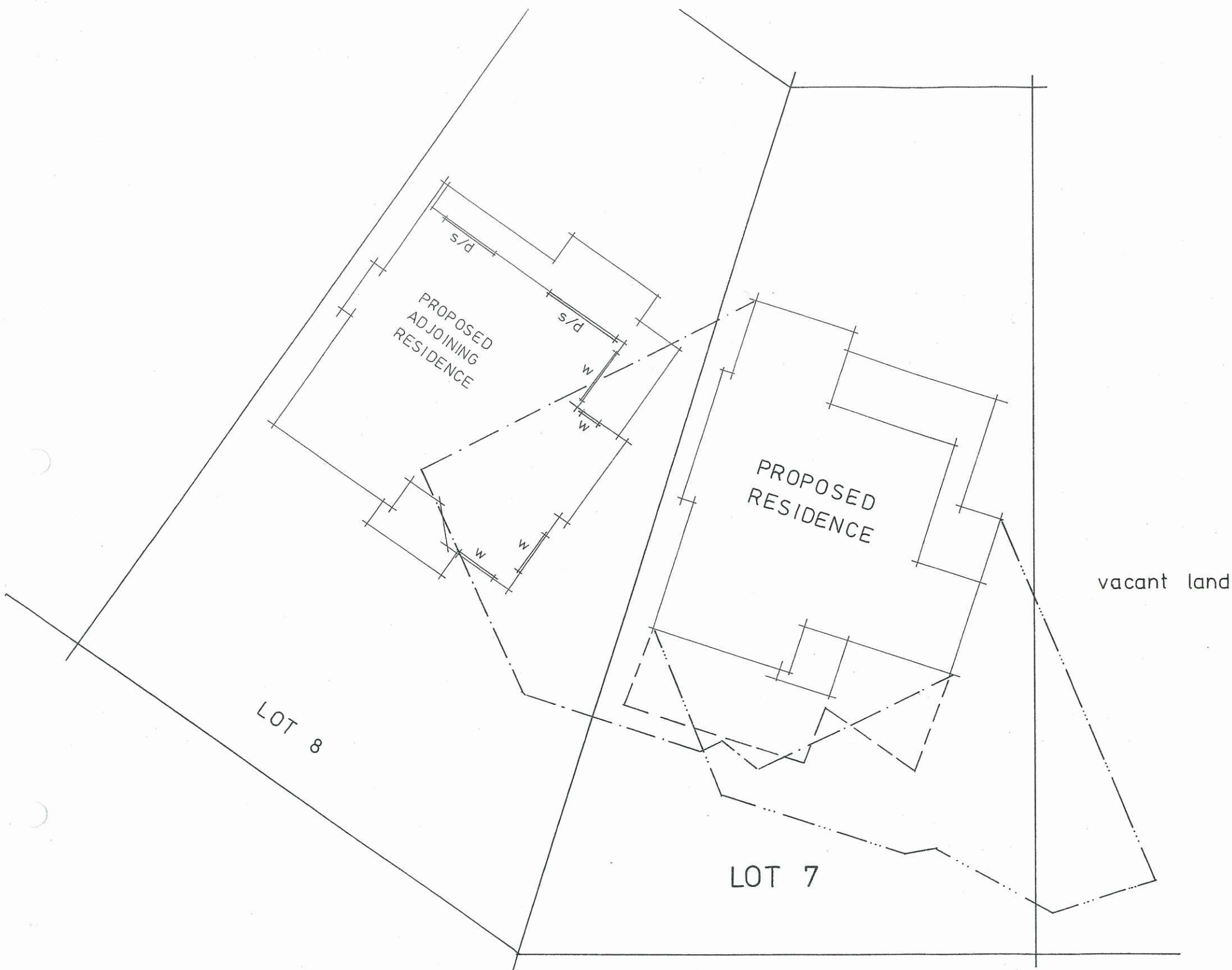
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9

Contractors to ensure all Construction and Glazing to be in accordance
with current ABSA and Basix Certificate specifications.



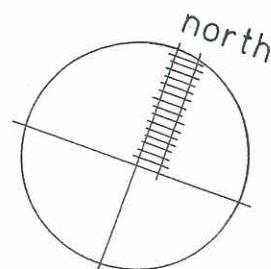
SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

- · — · — 9 am
- — — — 12 noon
- · · · — 3 pm

SHADOW DIAGRAM

1:200



PROPOSED RESIDENTIAL DEVELOPMENT

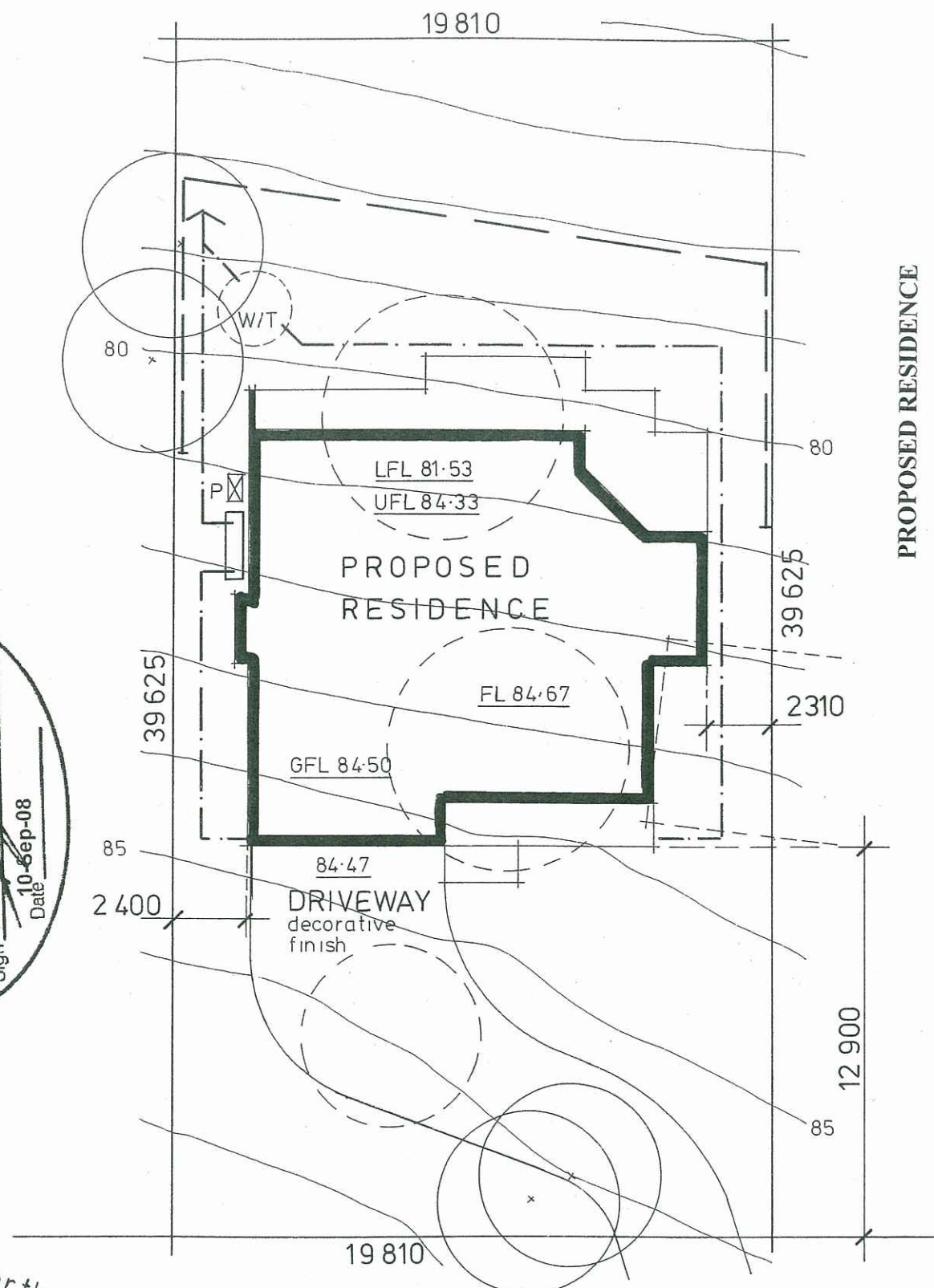
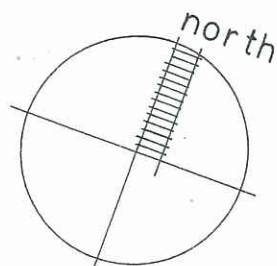
Location: **LOT 7 in DP 25683**
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 9 of 9



SITE DEVELOPMENT PLAN 1:200

LOT 10 in DP 25683
784.1 sq.m.

PROPOSED RESIDENCE

Upper Floor Level 138.10 sq.m.
 Lower Floor Level 107.16 sq.m.
 Double Garage 39.33 sq.m.
 Front Verandah 10.20 sq.m.
 Upper Deck / Verandah 34.51 sq.m.
 Lower Deck / Verandah 7.28 sq.m.

Total Development Area: 336.58 sq.m.
Maximum Floor Space Ratio: 0.5 : 1 (392.05 sq.m.)
Actual Floor Space Ratio: 0.31 : 1 (245.26 sq.m.)

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

W/T Minimum 10,000 litre static water supply tank

P Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

Existing trees to be retained / protected during construction

Existing trees to be removed to allow for proposed residence

84.47 Finished ground levels

Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **LOT 10 in DP 25683**
THE SCENIC ROAD, MACMASTERS BEACH.

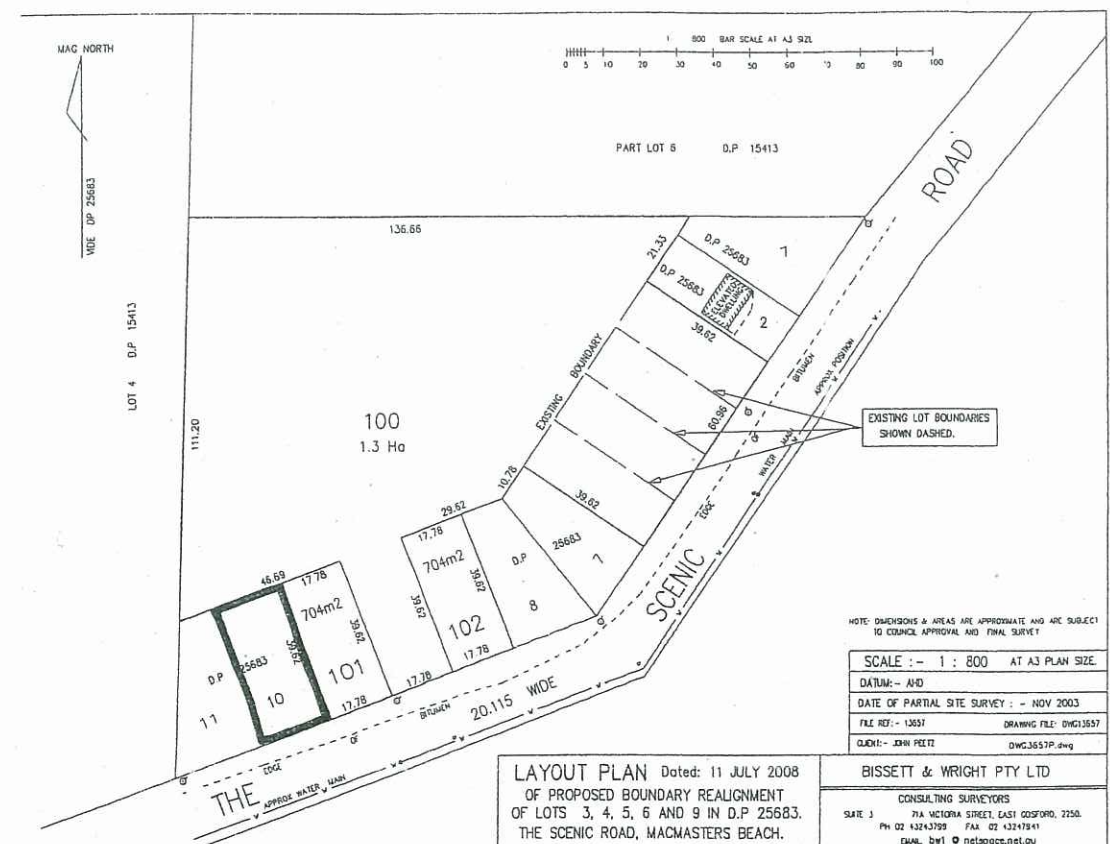
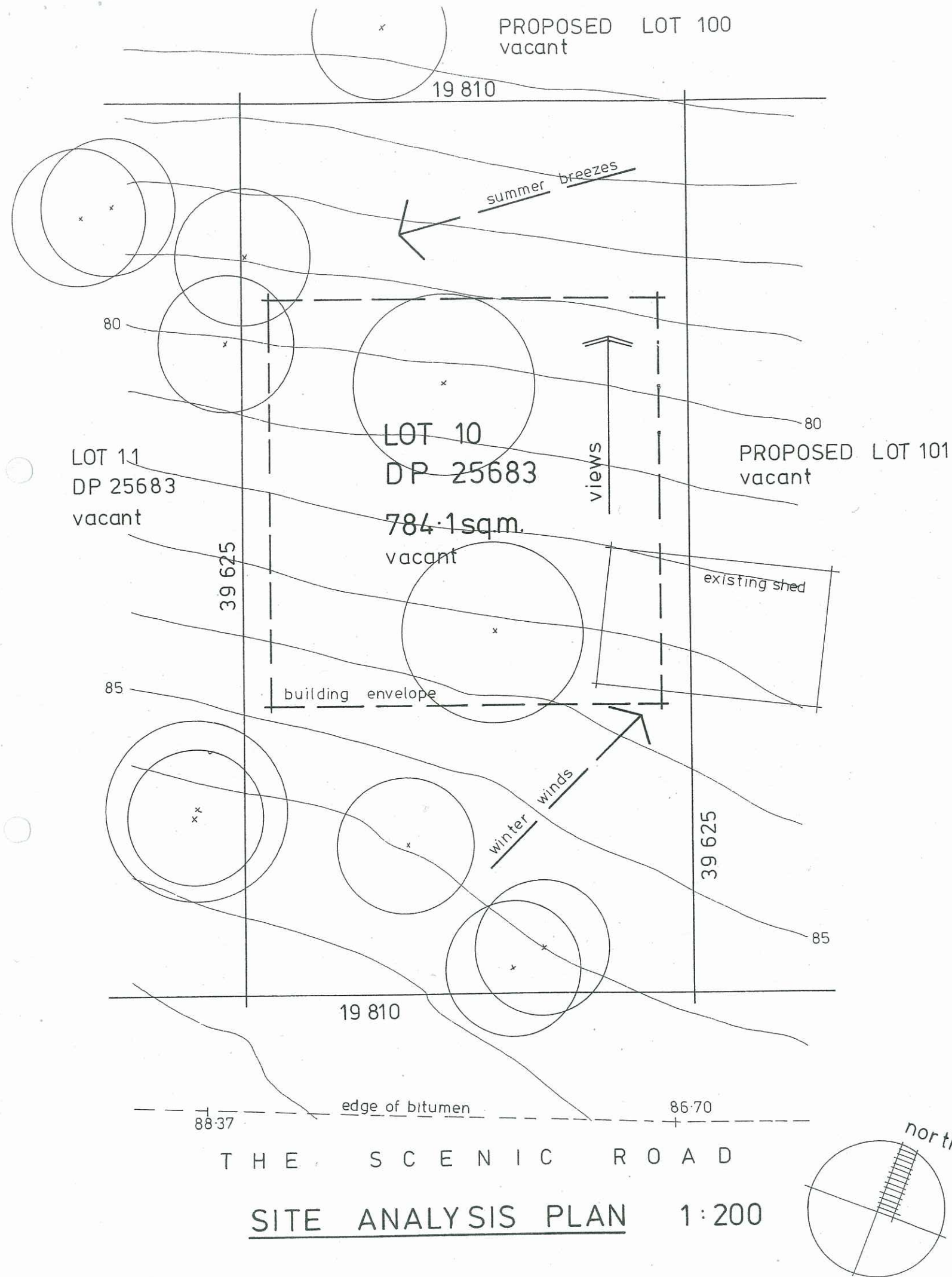
Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
 Ph / Fax 43 920866

Drawing No 1 of 9

6715459



The site is currently vacant but has a derelict structure being within the site and the adjoining eastern property.

Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD – refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site

Prevailing summer breezes are from the north - east

Prevailing winter winds are from the south - west

The adjoining eastern site is currently vacant of a residence but does have a derelict structure

The adjoining western site is currently vacant

Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes
The Following Specifications Apply to
this Development

- RAINWATER TANK
- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 225square metres of roof.
 - Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.
- WATER FIXTURES
- 3Star Showers and Tapware to be installed.
 - 4Star Toilets to be installed.
- HOT WATER SYSTEM
- HWS - Solar Elec. Boost Min 26RECS
- HEATING / COOLING
- Nil
- VENTILATION / ELECTRICAL
- Ind. fan, manual switch to Kitchen
 - Ducted fan, manual switch to Bathroom
- LIGHTING
- Fluorescent Light Globes to Min. 2 Bedrooms
 - Dedicated Fluorescent Light to Laundry
- OTHER
- Outdoor Clothes line to be installed
 - Kitchen Window Included in Design
 - Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	20003	Certificate #	78673013	Issued:	10-Sep-08
Thermal Performance Specifications					
These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicate: on referenced documents.					
Windows	Product ID	Glass	Frame	U value	SHGC Area M Detail
48m		Single clear	Aluminium	3mm Clr Uw<=7.727, SHGC 0.778<-10%	
Skylights	Product ID	Glass	Frame	U value	SHGC Area M Detail
Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.					
External walls	Construction	Insulation	Colour - Solar absorptanc	Detail	
Brick Veneer		R1.5	Light -SA <0.475		
Internal walls	Construction	Insulation	Detail		
Plasterboard on Studs		None			
Brick plastered		None			
Floors	Construction	Insulation	Covering	Detail	
Concrete		None	Carpet		
Concrete		None	Ceramic Tile		
Ceilings	Construction	Insulation	Detail		
Plasterboard		R3.0	As per detail on plans		
Plasterboard		None	Intermediate floor-ceilings		
Roof	Construction	Insulation	Colour	Detail	
Roofing Tiles		Foil (Sisalation)	Dark - SA > 0.7		
Window cover	Internal (curtains)	External (awnings, shutters, etc)			
None		None			
Fixed shading	Eaves (width - inc. gutters, height above window	Verandahs, Pergolas (type, description)			
450	0 600mm Overall	100 percent	As per detail on plans		
Overshadowing	Overshadowing structures	Overshadowing trees			
Orientation, Exposure, Ventilation and Filtration					
Orientation of nominal north: 0					
Area open to entry: Yes					
Ventilated skylights: No					
Areas separated by doors: Yes					
Open fire or unflued gas heaters: No					
Stair open to heated areas: Yes					
Vented downlights: No					
Seals to windows and doors: Yes					
Wall and ceiling vents: No					
Subfloor ventilation: On ground					
Exhaust fans without dampers: No					
Assr # 20003 Cert # 78673013					
Sign _____					
Date 10-Sep-08					

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with
Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

**Construction and insulation as per ABSA Specification as prepared by
Solar Smart of Swansea.**

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

**All work to be done in accordance and must comply with
AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.**

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

**All fire protection requirements to be done in accordance with the Bushfire
Protection Assessment report as prepared by Australian Bushfire Protection
Planners Pty Limited of Somersby.**

PROPOSED RESIDENTIAL DEVELOPMENT

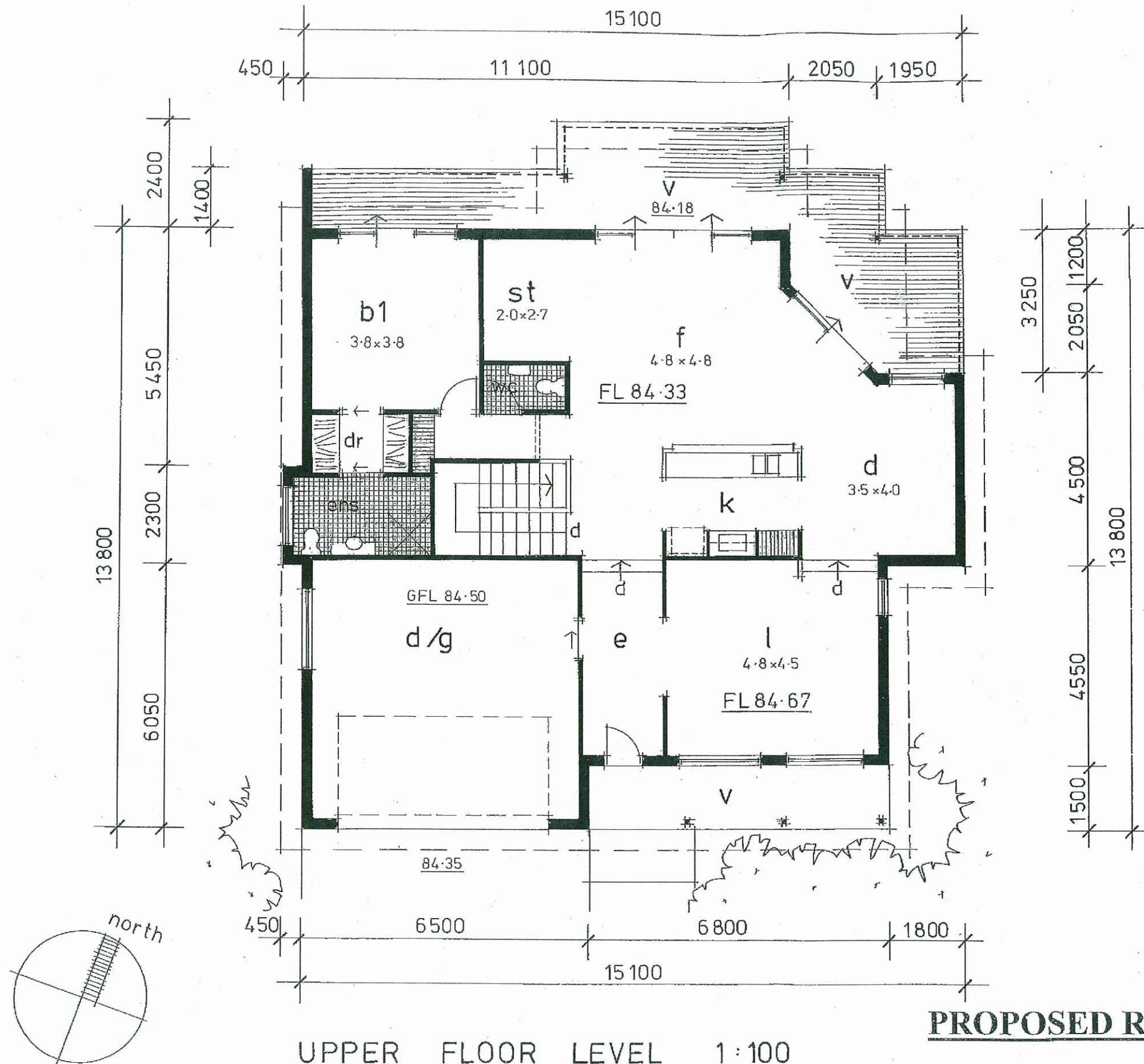
Location: **LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.**

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

**Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866**

Drawing No 4 of 9



Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

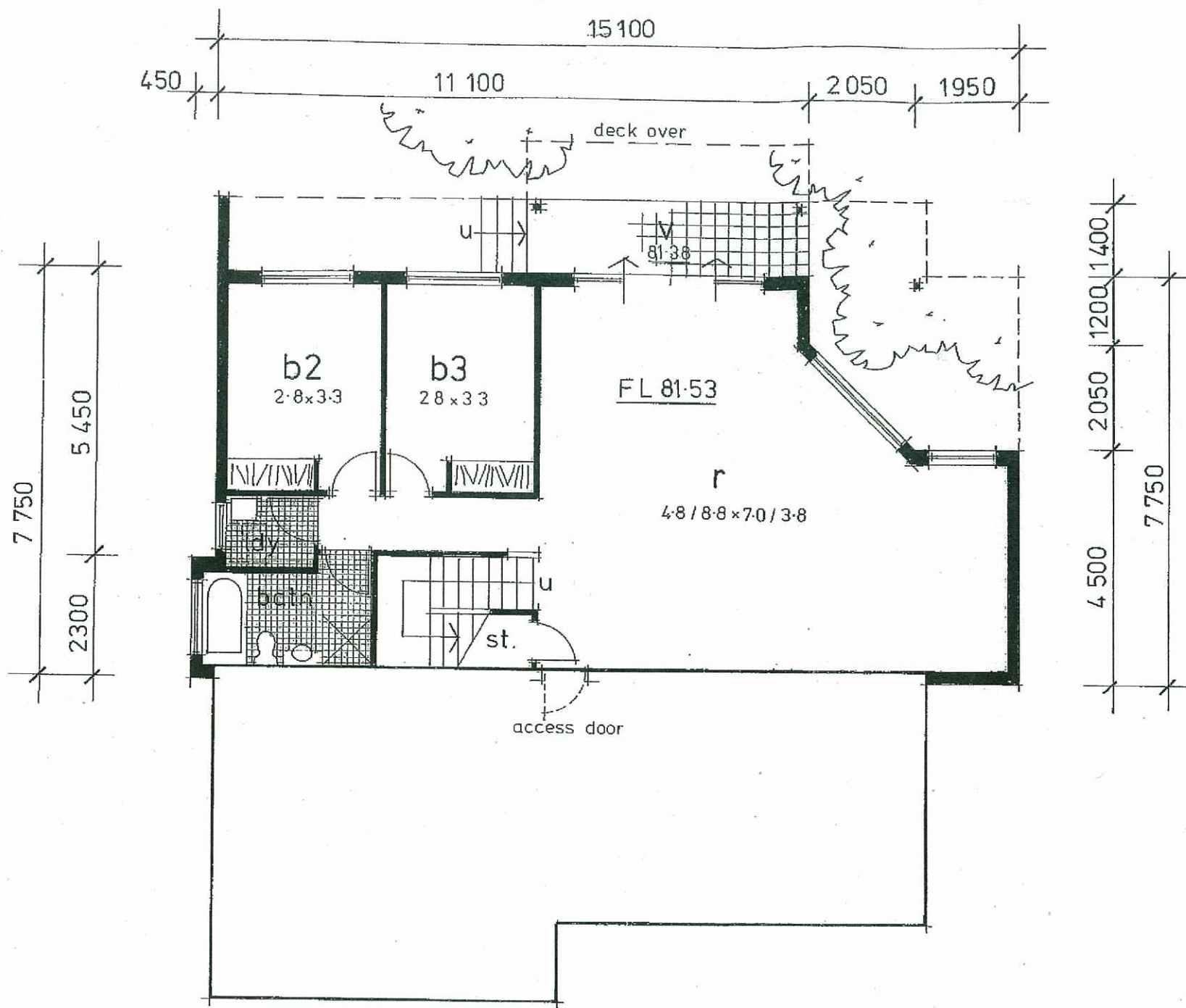
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 5 of 9





LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

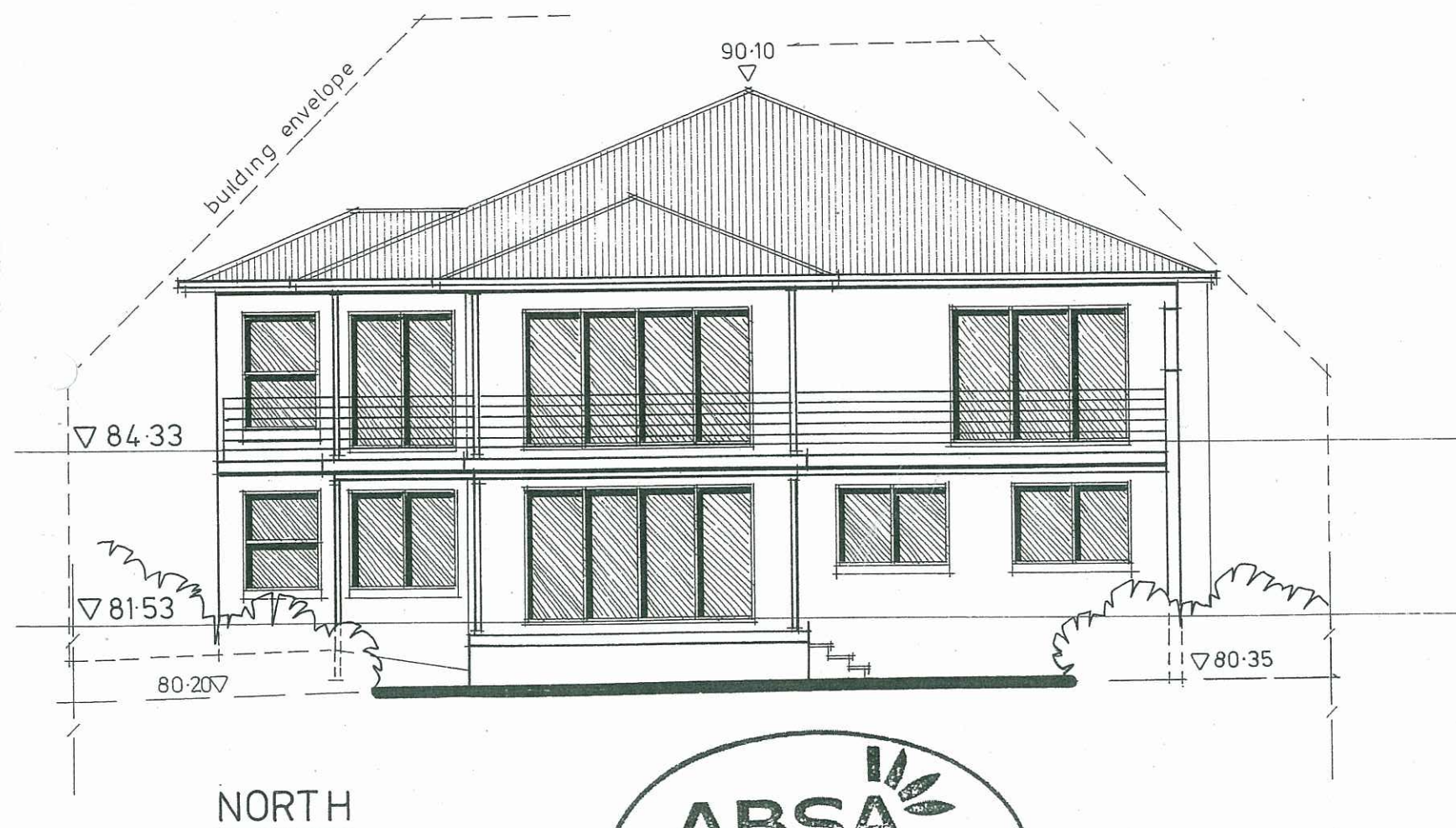
Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 6 of 9A



ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Lounge	1800	1800	D/H
W2	Lounge	1800	1800	D/H
W3	Lounge	1800	900	D/H
W4	Dining	1800	1200	S/W
W5	Ensuite	600	1200	S/W - O/G
W6	Garage	900	1800	S/W
W7	Bedroom 4	1500	1200	S/W
W8	Rumpus	1500	2400	S/W
W9	Bedroom 3	1200	1800	S/W
W10	Bedroom 2	1200	1800	S/W
W11	Laundry	600	900	S/W
W12	Bathroom	600	1200	S/W - O/G

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Family	2400
Family	3600
Bedroom 1	2700
Rumpus	3600

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Assessment Report and AS 3959 - 1999 'Construction of Buildings in Bushfire Prone Areas.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

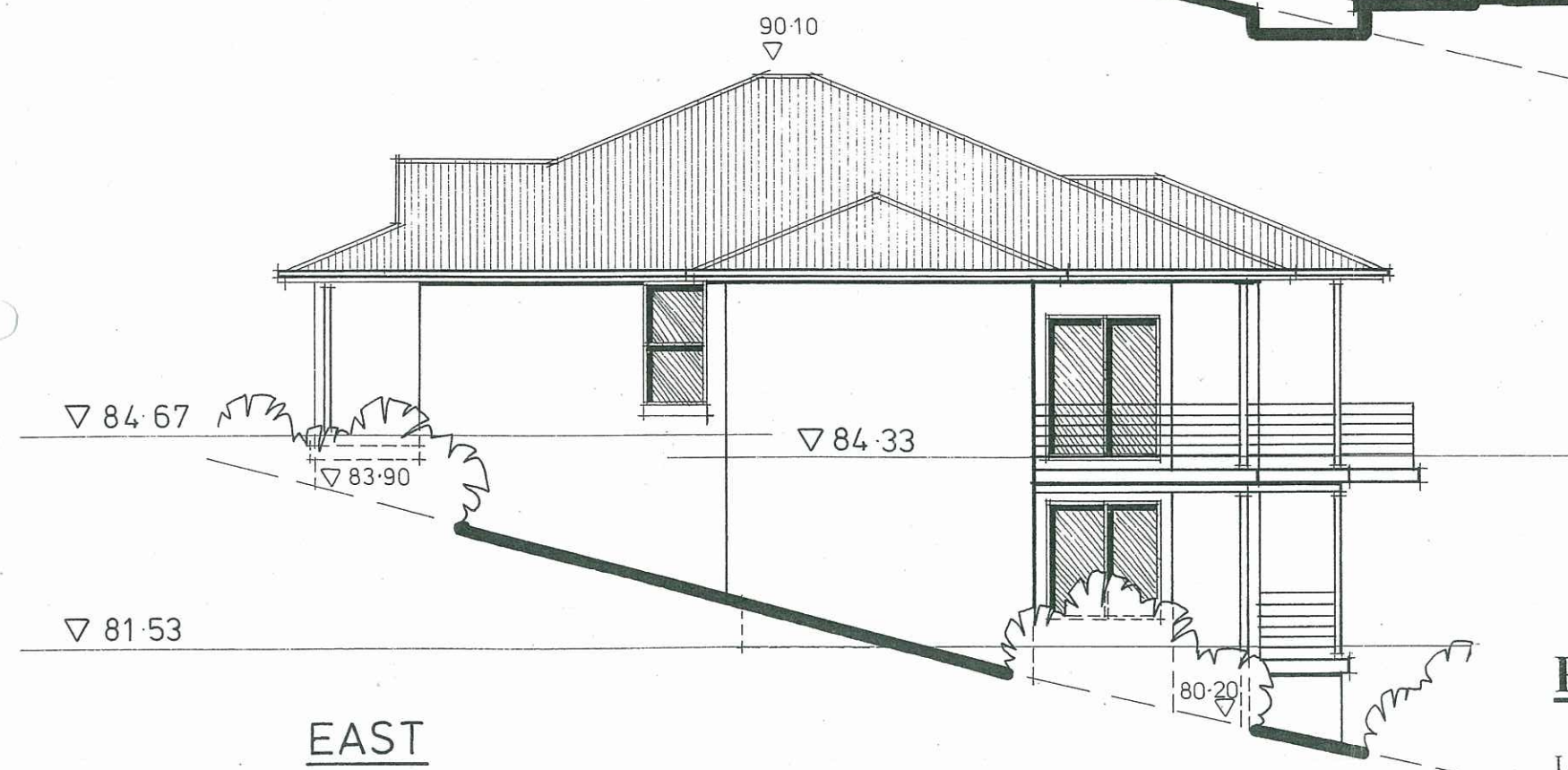
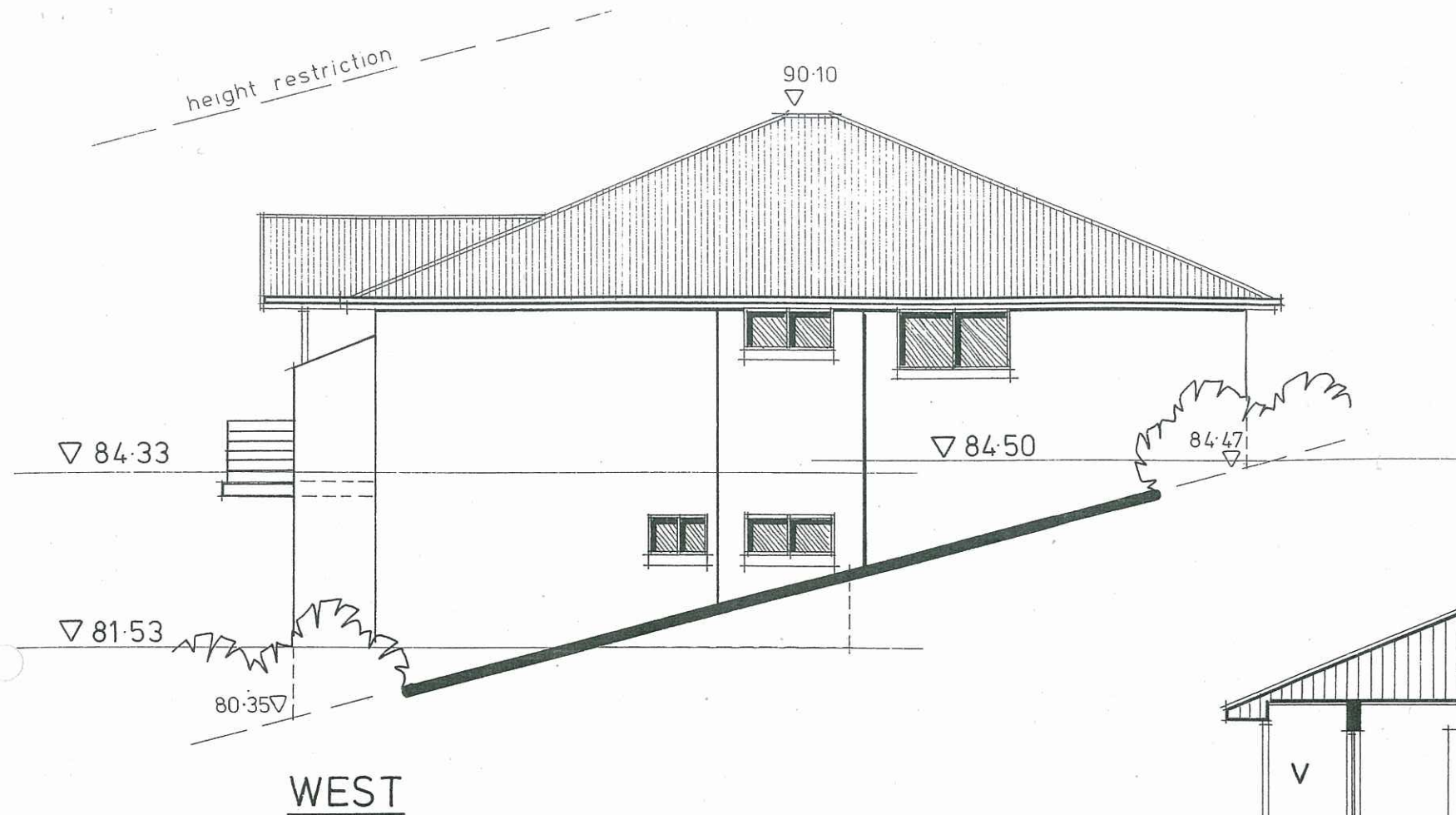
Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

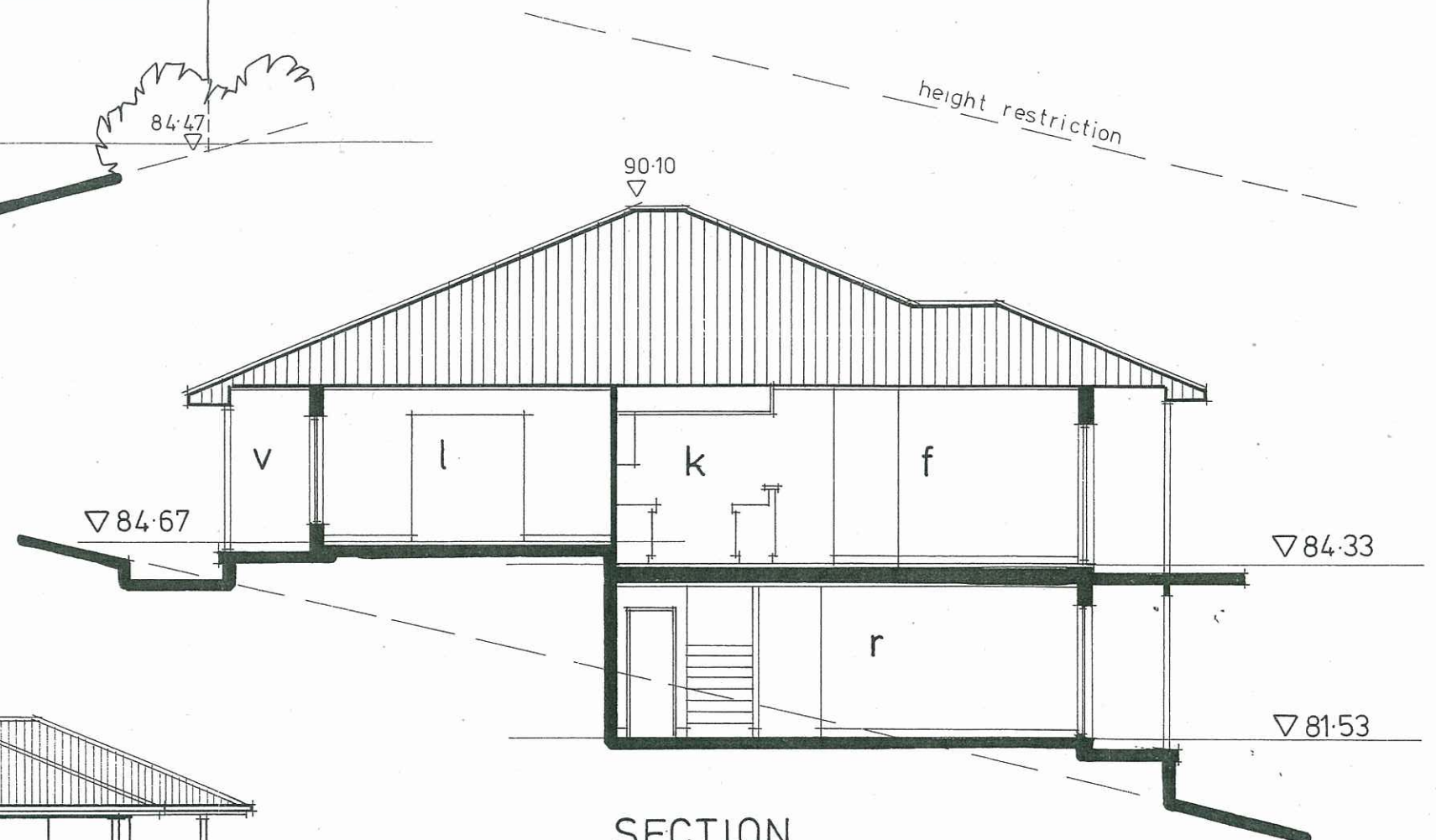
September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9



Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9

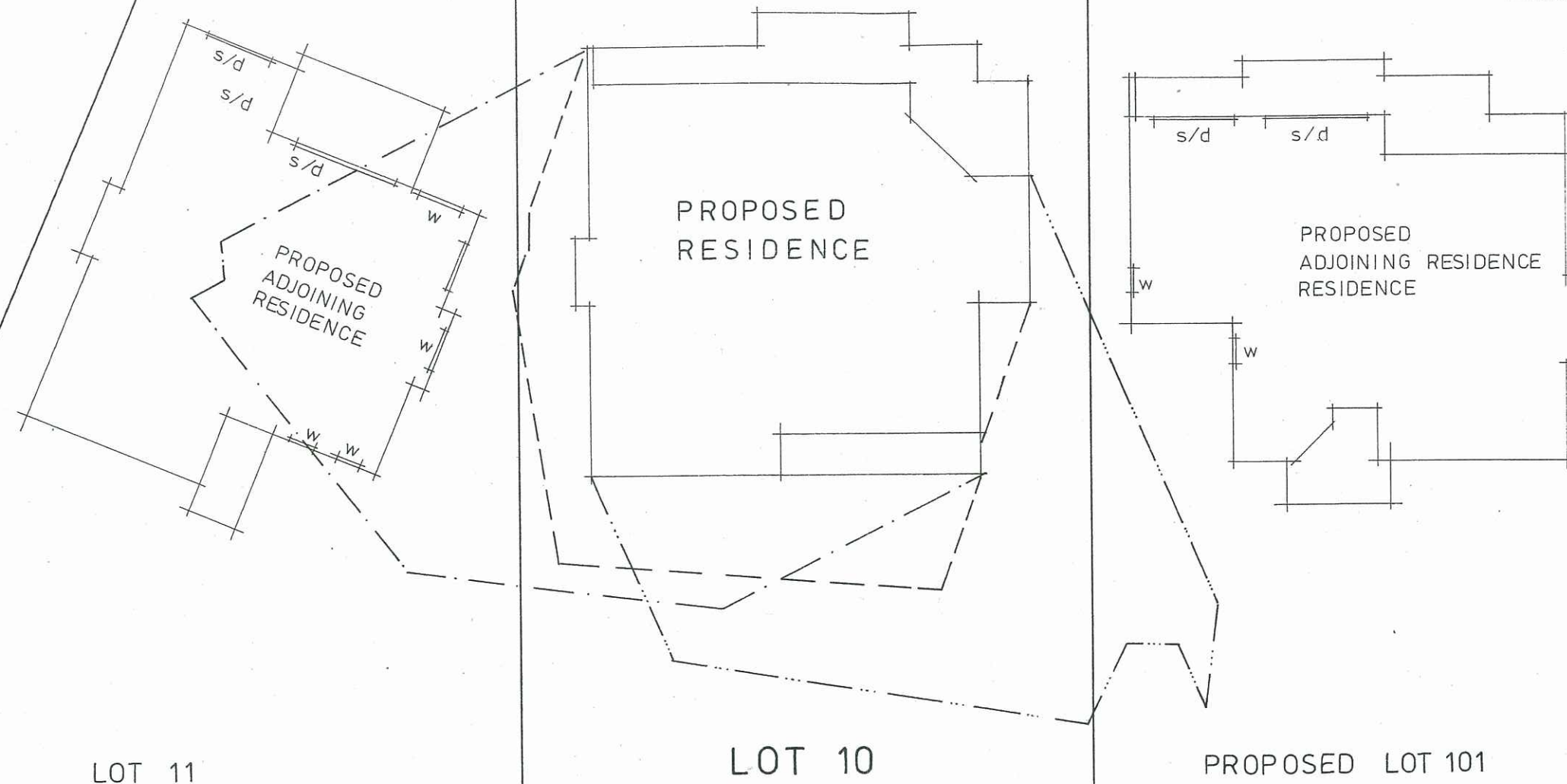
SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

— · — · — · — 9 am

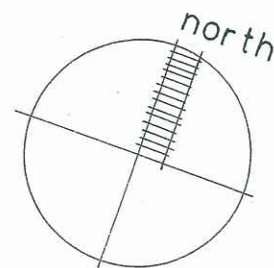
— — — — — 12 noon

— · · · · — · · · · 3 pm



SHADOW DIAGRAM

1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 9 of 9

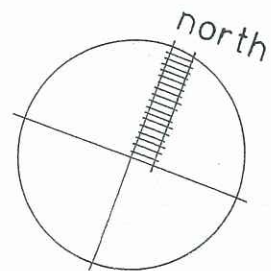
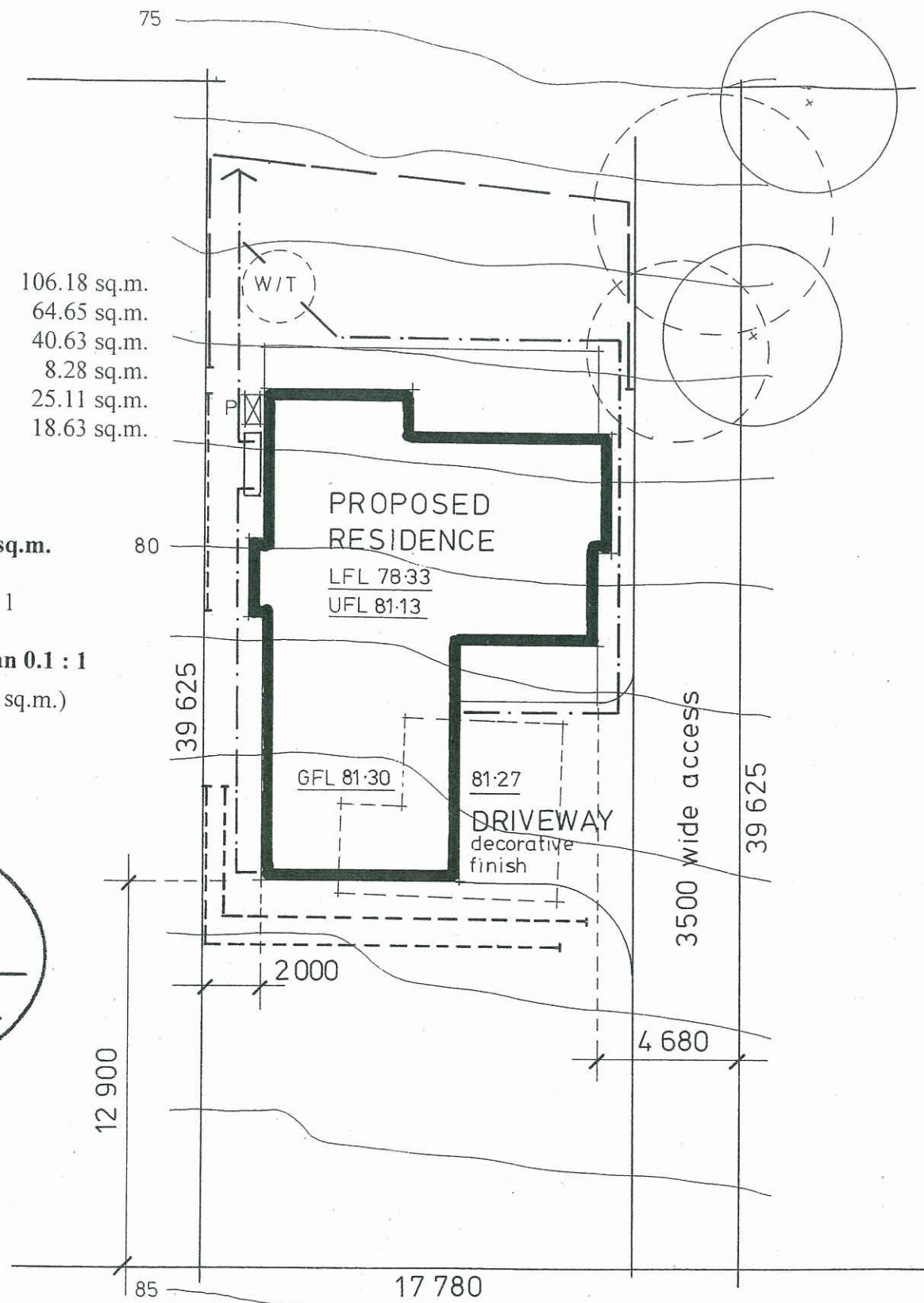
PROPOSED RESIDENCE

Upper Floor Level	106.18 sq.m.
Lower Floor Level	64.65 sq.m.
Double Garage	40.63 sq.m.
Front Verandah	8.28 sq.m.
Upper Deck / Verandah	25.11 sq.m.
Lower Deck / Verandah	18.63 sq.m.

Total Development Area: 263.48 sq.m.

Maximum Floor Space Ratio: 0.5 : 1

Actual Floor Space Ratio: less than 0.1 : 1
(170.83 sq.m.)



SITE DEVELOPMENT PLAN 1:200

PROPOSED PART LOT 100

1.30 ha

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

Minimum 10,000 litre static water supply tank

Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

- Existing trees to be retained ./ protected during construction
- Existing trees to be removed to allow for proposed residence
- 81.97 Finished ground levels
- Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 100**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

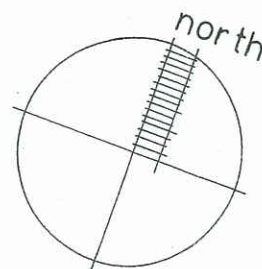
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 1 of 9

6715462



Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA Section 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes

The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 190square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 3Star Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

- HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

- Nil

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	20003	Certificate #	15375486	Issued: 11-Sep-08	
Thermal Performance Specifications					
These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.					
Windows	Product ID	Glass	Frame	U value SHGC Area M Detail	
33m		Single clear	Aluminium	3mm Clr Uw<=7.727, SHGC 0.778~10%	
Skylights	Product ID	Glass	Frame	U value SHGC Area M Detail	
Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above					
External walls	Construction	Insulation	Colour - Solar absorptance	Detail	
Brick Veneer		R1.5	Light - SA <0.475		
Internal walls	Construction	Insulation	Detail		
Plasterboard on Studs		None			
Brick plastered		None			
Floors	Construction	Insulation	Covering	Detail	
Concrete		None	Carpet		
Concrete		None	Ceramic Tile		
Ceilings	Construction	Insulation	Detail		
Plasterboard		R3.0	As per detail on plans		
Plasterboard		None	intermediate floor-ceilings		
Roof	Construction	Insulation	Colour	Detail	
Roofing Tiles		Foil (Sisalation)	Dark - SA > 0.7		
Window cover	Internal (curtains)		External (awnings, shutters, etc)		
None			None		
Fixed shading	Eaves (width - inc. gutters, height above window)	Verandahs, Pergolas (type, description)			
450	0 600mm Overall	100 percent	As per detail on plans		
Overshadowing	Overshadowing structures	Overshadowing trees			
Orientation, Exposure, Ventilation & Glazing					
Orientation of nominal north	0	Area open to entry	Yes	Ventilated skylights	No
Temperatures	Sub	Areas separated by doors	Yes	Open fire or unflued gas heater	No
Room Ventilation	Unvent	Stair open to heated areas	Yes	Vented downlights	No
Cross ventilation	On ground	Seals to windows and doors	Yes	Wall and ceiling vents	No
Subfloor ventilation	On ground	Exhaust fans without dampers	No		

Assr # 20003

Cert # 15375486

Sign

Date 11-Sep-08

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 100**

in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

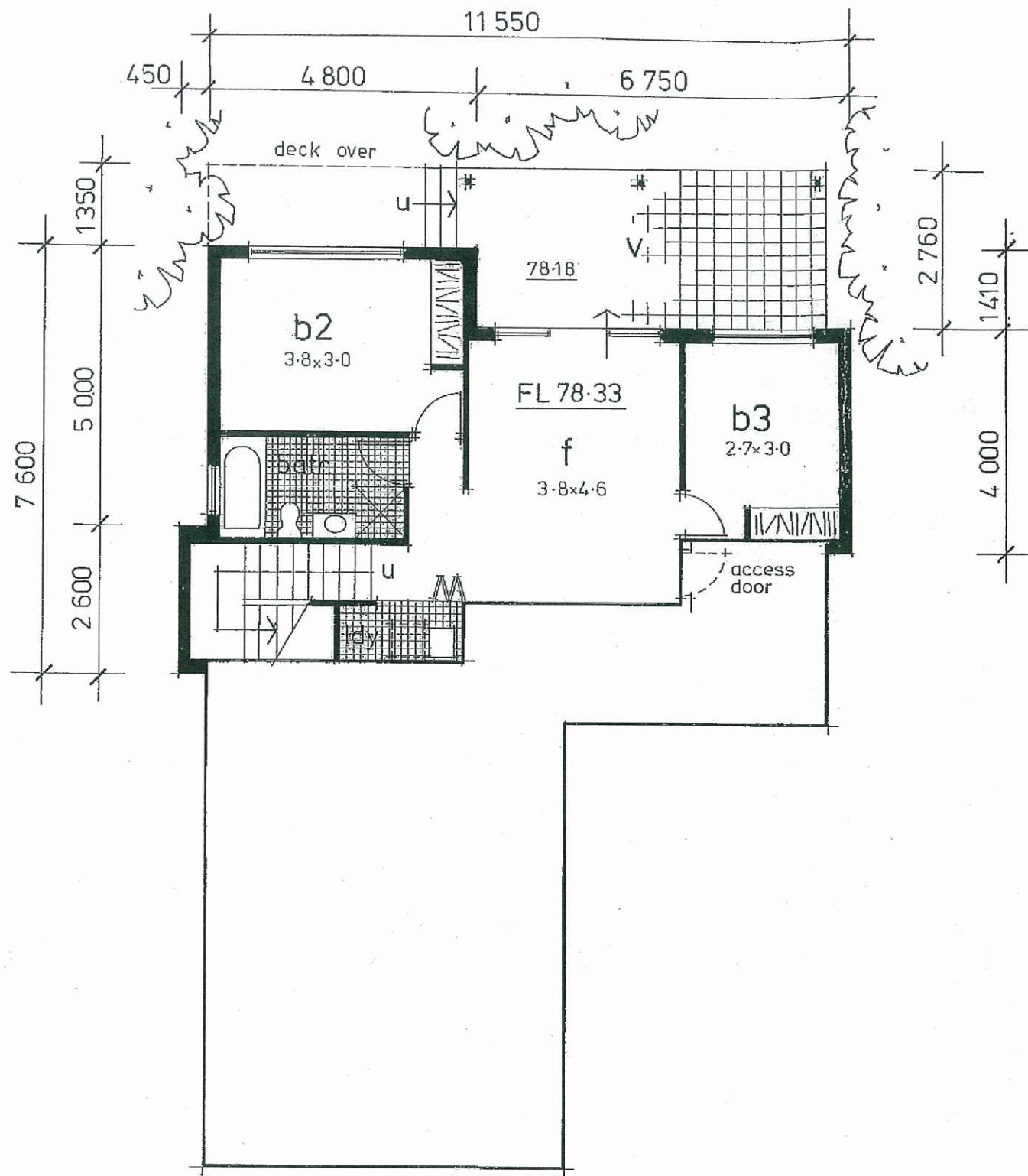
Location: **PROPOSED LOT 100**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 4 of 9



LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

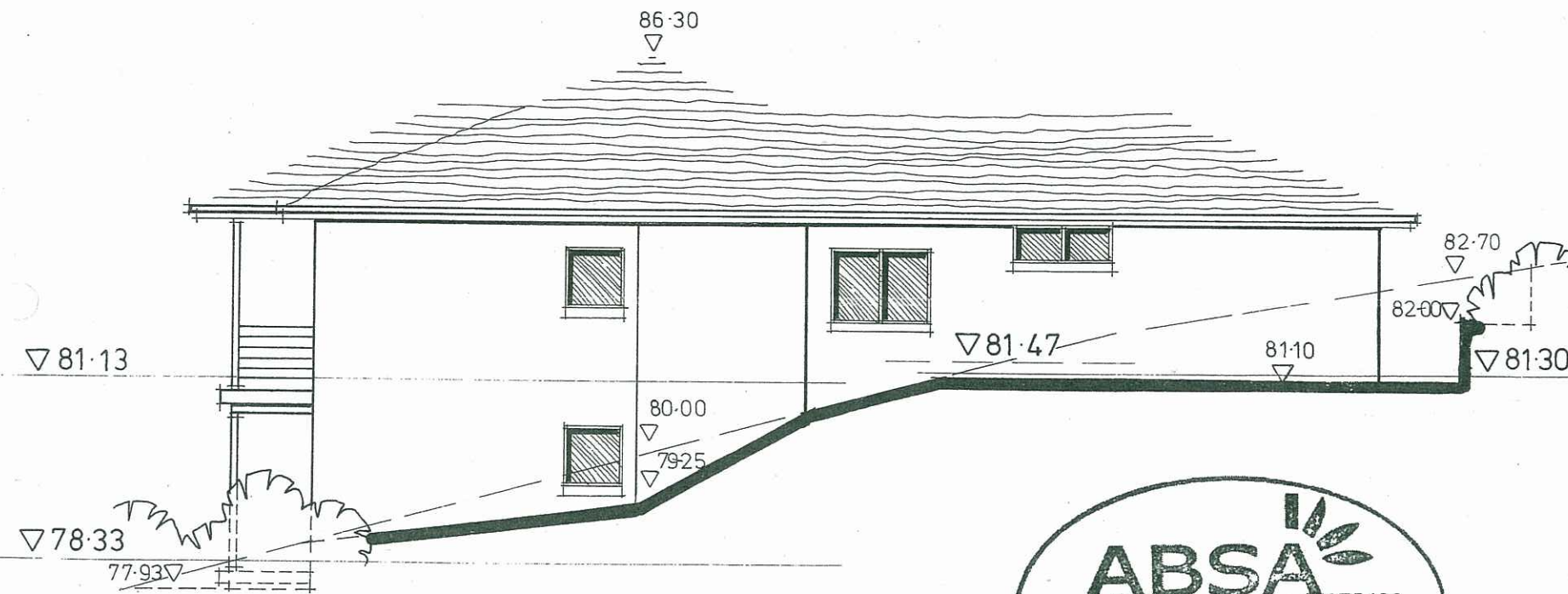
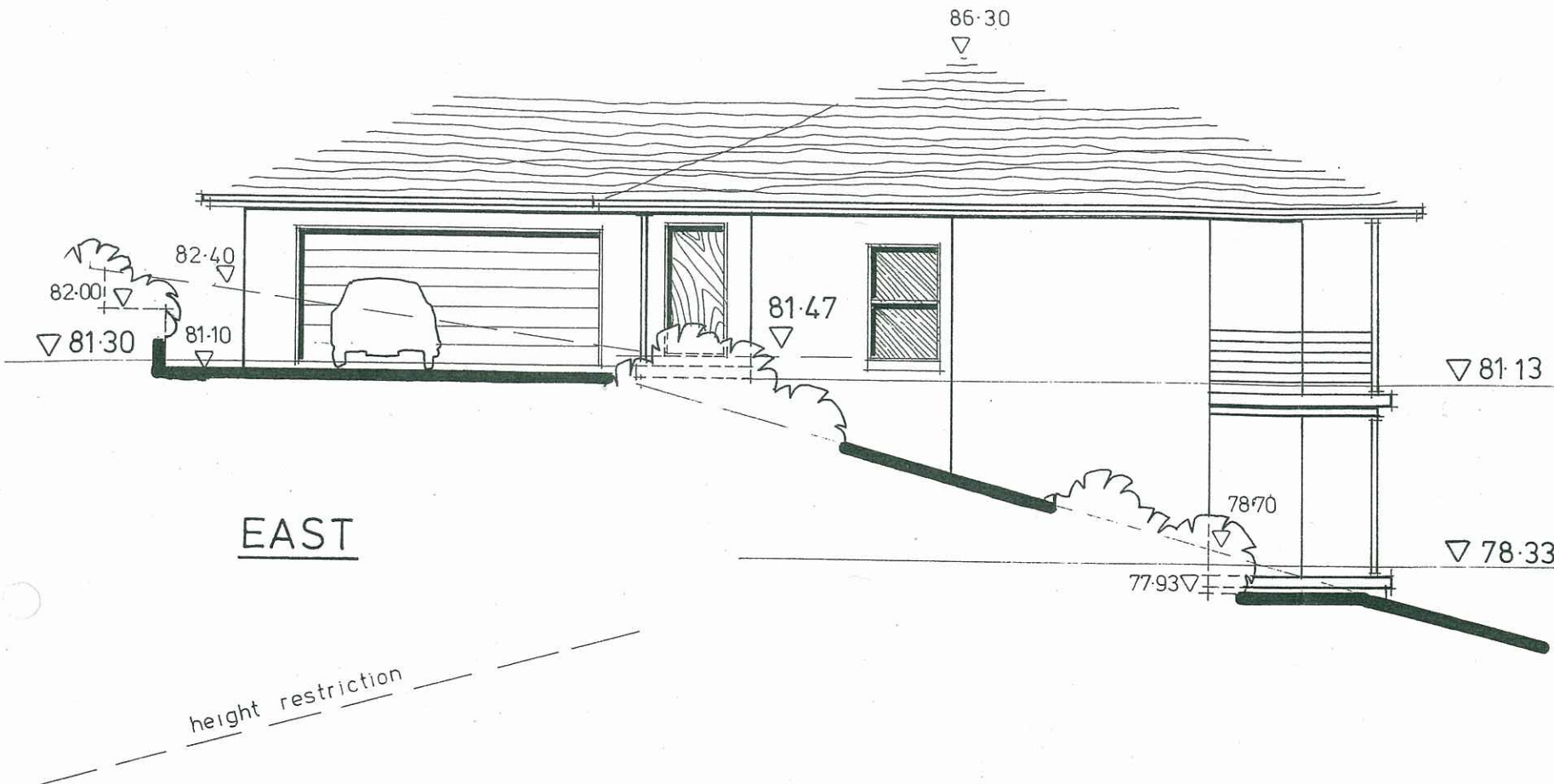
Location: **PROPOSED LOT 100**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 6 of 9



ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Lounge	1800	1200	D/H
W2	Lounge	1800	1200	D/H
W3	Lounge	1800	1200	D/H
W4	Kitchen	1050	1500	S/W
W5	Ensuite	900	900	A/W – O/G
W6	Study	1200	1500	S/W
W7	Garage	600	1500	S/W
W8	Garage	1800	600	Fixed glass
W9	Garage	1800	600	Fixed glass
W10	Bedroom 3	1200	1800	S/W
W11	Bedroom 2	1200	2700	S/W
W12	Bathroom	900	900	A/W – O/G

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Dining	2700
Bedroom 1	2700
Family	2700

All windows / sliding doors to be in accordance with BCA, Standards Association of Aust the ABSA Specification / Requirements and the recommendations of the Bushfire Protect Assessment Report and AS 3959 – 1999 ‘Construction of Buildings in Bushfire Prone Ar

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 100**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

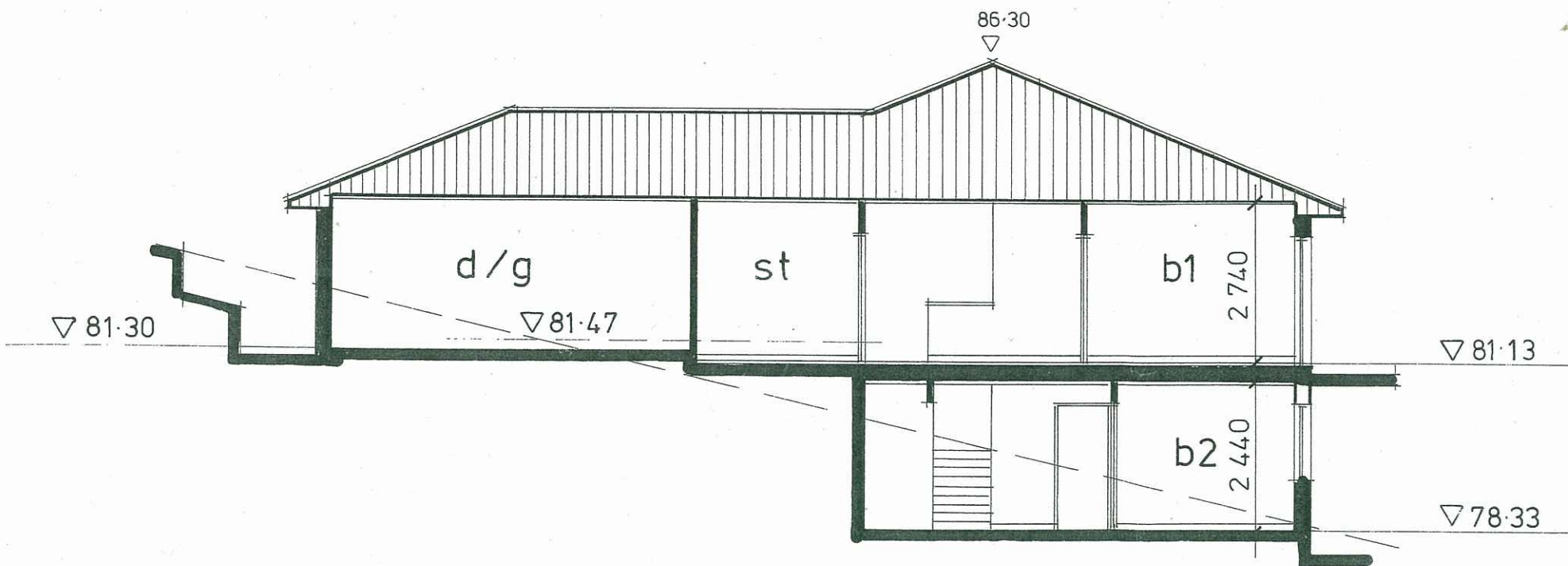
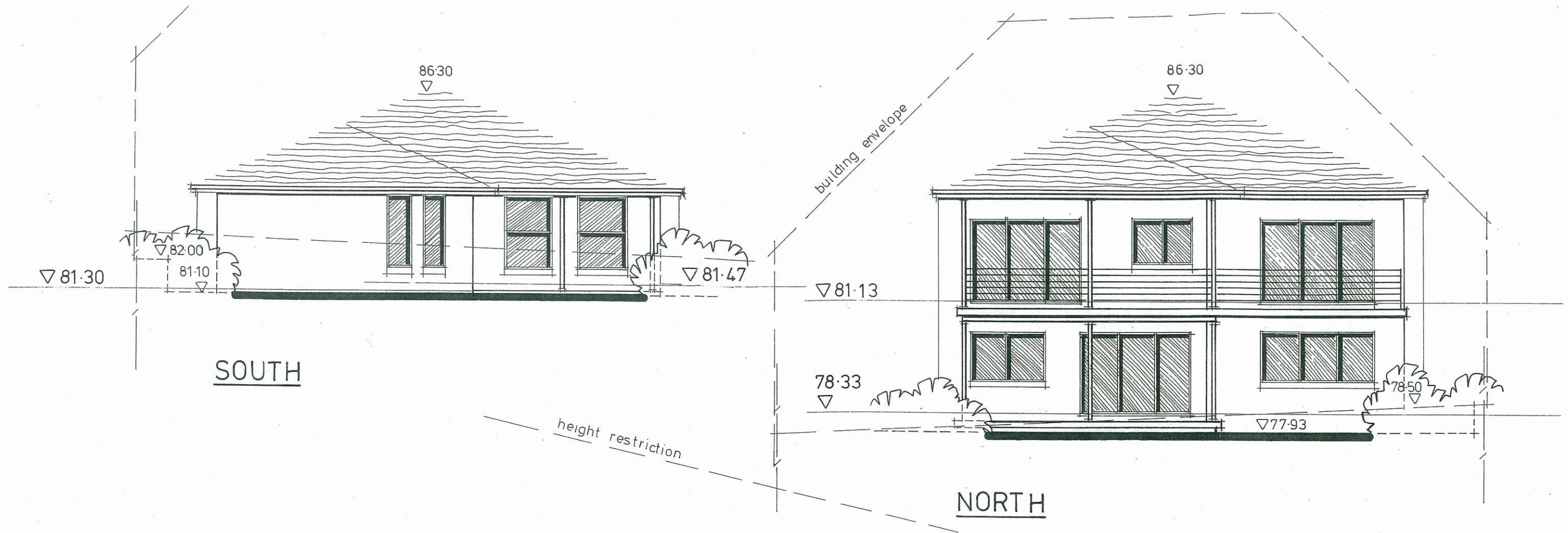
September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9

WEST

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.



SECTION

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

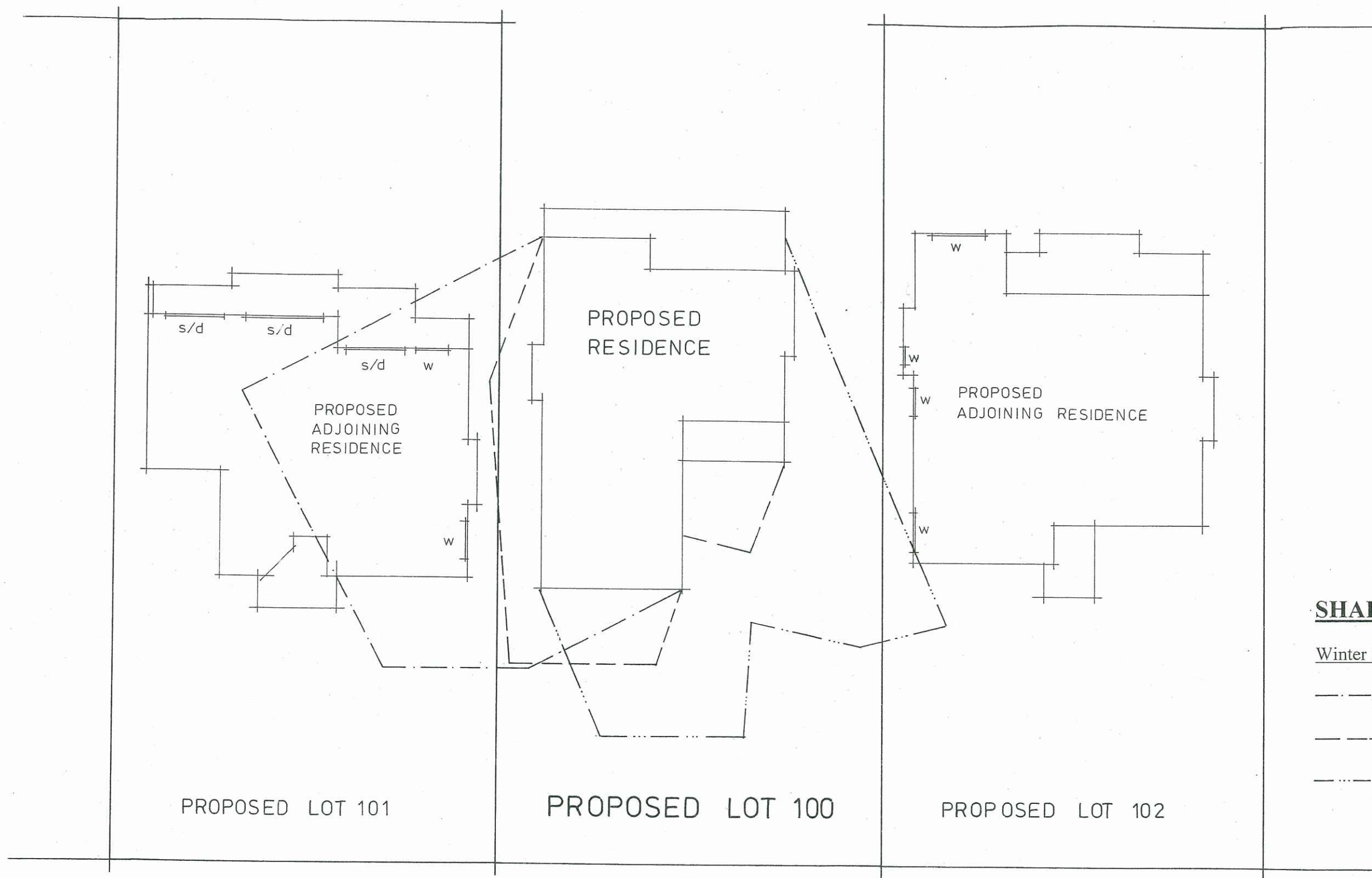
Location: **PROPOSED LOT 100**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9

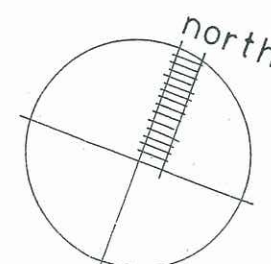


SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

— · — · — 9 am
 — — — — 12 noon
 — · · · · — 3 pm

SHADOW DIAGRAM 1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 100**
 in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
 Ph / Fax 43 920866

Drawing No 9 of 9

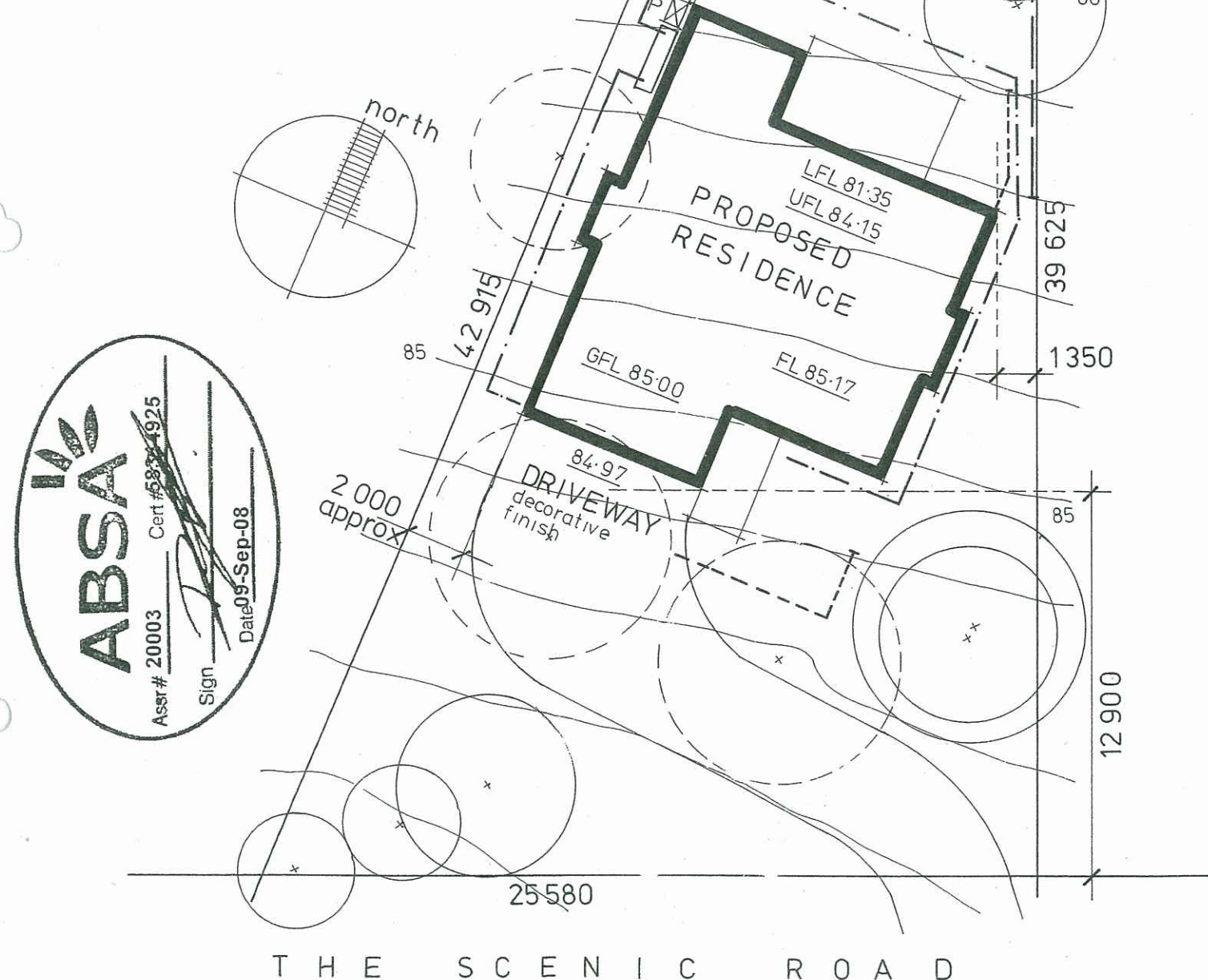
PROPOSED RESIDENCE

Upper Floor Level	105.86 sq.m.
Lower Floor Level	87.84 sq.m.
Double Garage	39.65 sq.m.
Upper Deck / Verandah	15.60 sq.m.
Lower Deck / Verandah	15.60 sq.m.

Total Development Area: 264.55 sq.m.

Maximum Floor Space Ratio: 0.5 : 1 (341.45 sq.m.)

Actual Floor Space Ratio: 0.28 : 1 (sq.m.)



SITE DEVELOPMENT PLAN 1:200

LOT 11 in DP 25683

682.9 sq.m.

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

W/T Minimum 10,000 litre static water supply tank

P Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

Existing trees to be retained / protected during construction
Existing trees to be removed to allow for proposed residence

84.97 Finished ground levels

Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

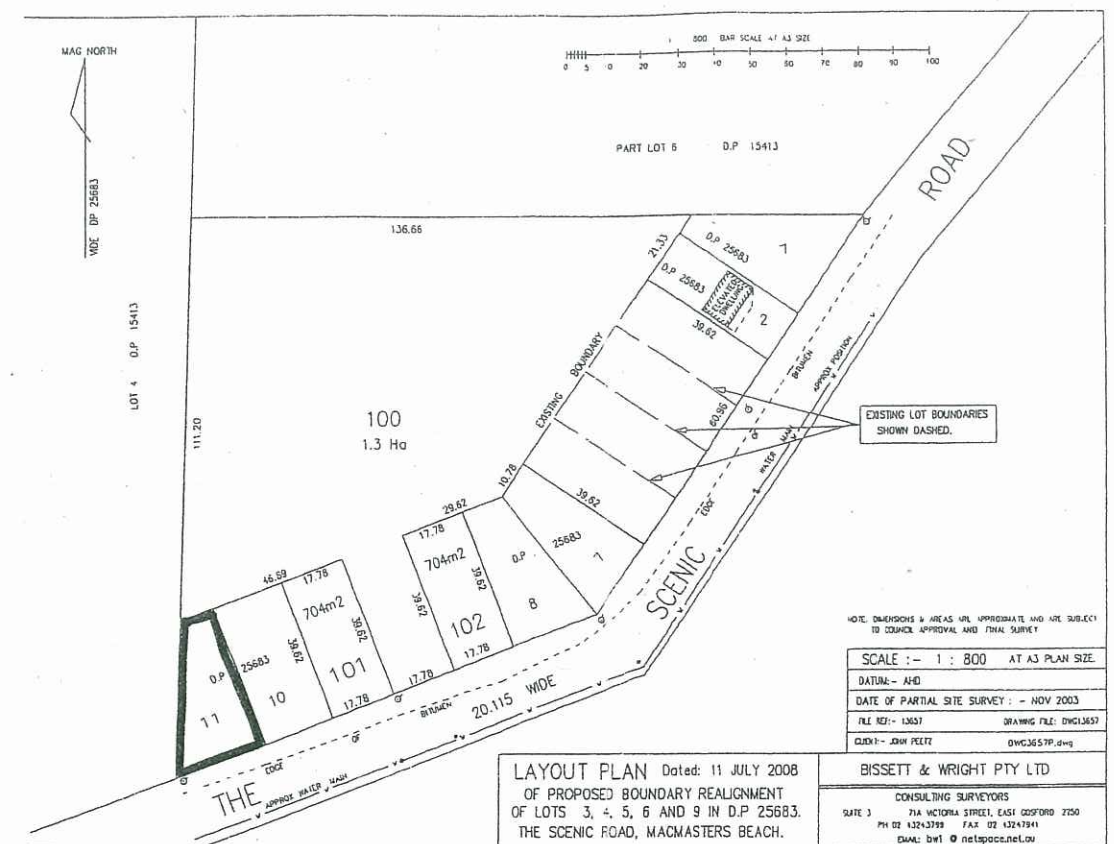
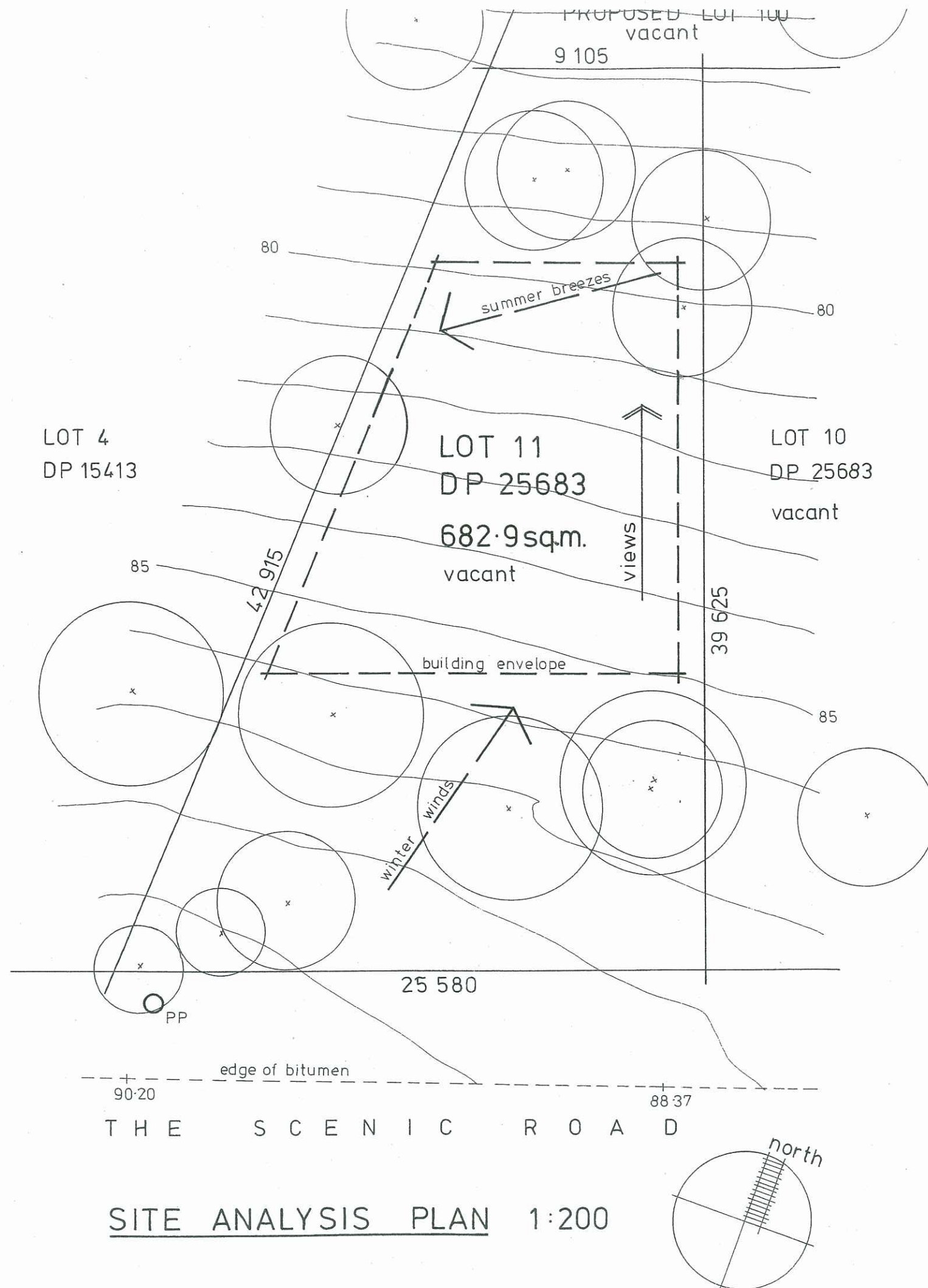
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 1 of 9

6715458



The site is currently vacant
 Site has consistent fall to the northern boundary
 Contours at 1 metre intervals to AHD – refer Survey plan
 Site is not subject to mines subsidence
 Site is not subject to flooding
 Site is not subject to easements / right of ways / restrictions / covenants
 Site is not subject to natural watercourses or land features
 Orientation of site to true north is shown
 Views are to the northern area of the site
 Existing trees have been shown on site
 Prevailing summer breezes are from the north - east
 Prevailing winter winds are from the south - west
 Adjoining sites are currently vacant of residences but do have derelict structures
 Water and electricity located in The Scenic Road
 Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **LOT 11 in DP 25683**
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
 Ph / Fax 43 920866

Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes
The Following Specifications Apply to
this Development

- RAINWATER TANK
- Min 3000litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 188square metres of roof.
 - Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.
 - Min. 80 Square metres of Indigenous or Low Water Use Landscaping inside Rear Boundary of Site.

- WATER FIXTURES
- 3Star Showers and Tapware to be installed.
 - 4Star Toilets to be installed.

- HOT WATER SYSTEM
- HWS - Solar Elec. Boost Min 26RECS

- HEATING / COOLING
- Nil
- VENTILATION / ELECTRICAL
- Ind. fan, manual switch to Kitchen
 - Ducted fan, manual switch to Bathroom

- LIGHTING
- Fluorescent Light Globes to Min. 2 Bedrooms
 - Dedicated Fluorescent Light to Laundry

- OTHER
- Outdoor Clothes line to be installed
 - Kitchen Window Included in Design
 - Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor # 20003	Certificate # 58314925	Issued: 09-Sep-08
------------------	------------------------	-------------------

Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
32m		Single clear	Aluminium	3mm Clr Uw<=7.727	SHGC 0.778~10%		

Skylights	Product ID	Glass	Frame	U value	SHGC	Area M	Detail

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

External walls	Construction	Insulation	Colour - Solar absorptanc	Detail
Brick Veneer		R1.5	Light -SA <0.475	

Internal walls	Construction	Insulation	Detail
Plasterboard on Studs		None	
Brick plastered		None	

Floors	Construction	Insulation	Covering	Detail
Concrete		None	Carpet	
Concrete		None	Ceramic Tile	

Ceilings	Construction	Insulation	Detail
Plasterboard		R3.0	As per detail on plans
Plasterboard		None	Intermediate floor-ceilings

Roof	Construction	Insulation	Colour	Detail
Roofing Tiles		Foil (Sisalation)	Dark - SA > 0.7	

Window cover	Internal (curtains)	External (awnings, shutters, etc)
None		None

Fixed shading	Eaves (width - inc. gutters, height above window	Verandahs, Pergolas (type, description)
450	0 600mm Overall	100 percent As per detail on plans

Overshadowing	Overshadowing structures	Overshadowing trees

Orientation, Exposure, Ventilation and Insulation			
Orientation of nominal north	0	Is area open to entry	Yes
Terrace	Sub	Are areas separated by doors	Yes
Roof ventilation	Inv	Stair open to heated areas	Yes
Cross ventilation	Inv	Seals to windows and doors	Yes
Subfloor ventilation	On ground	Exhaust fans without dampers	No

ABSASignature

Assr # 20003 Cert 58314925

Sign

Date 09-Sep-08

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with
Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

**Construction and insulation as per ABSA Specification as prepared by
Solar Smart of Swansea.**

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

**All work to be done in accordance and must comply with
AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.**

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

**All fire protection requirements to be done in accordance with the Bushfire
Protection Assessment report as prepared by Australian Bushfire Protection
Planners Pty Limited of Somersby.**

PROPOSED RESIDENTIAL DEVELOPMENT

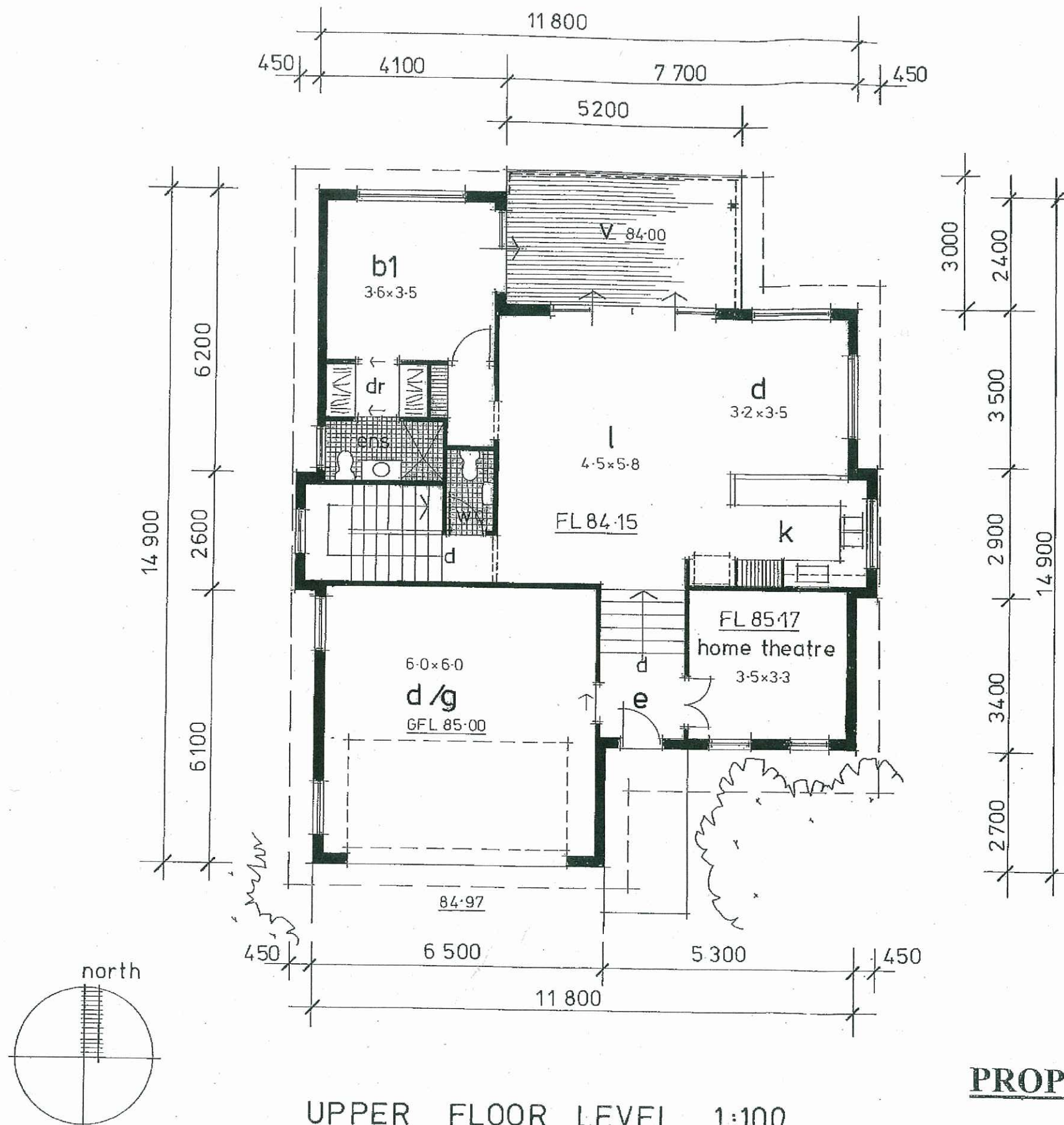
Location: **LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.**

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

**Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866**

Drawing No 4 of 9



UPPER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

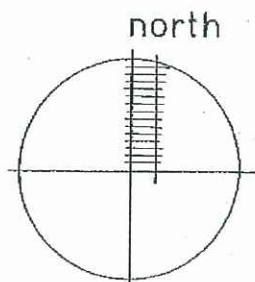
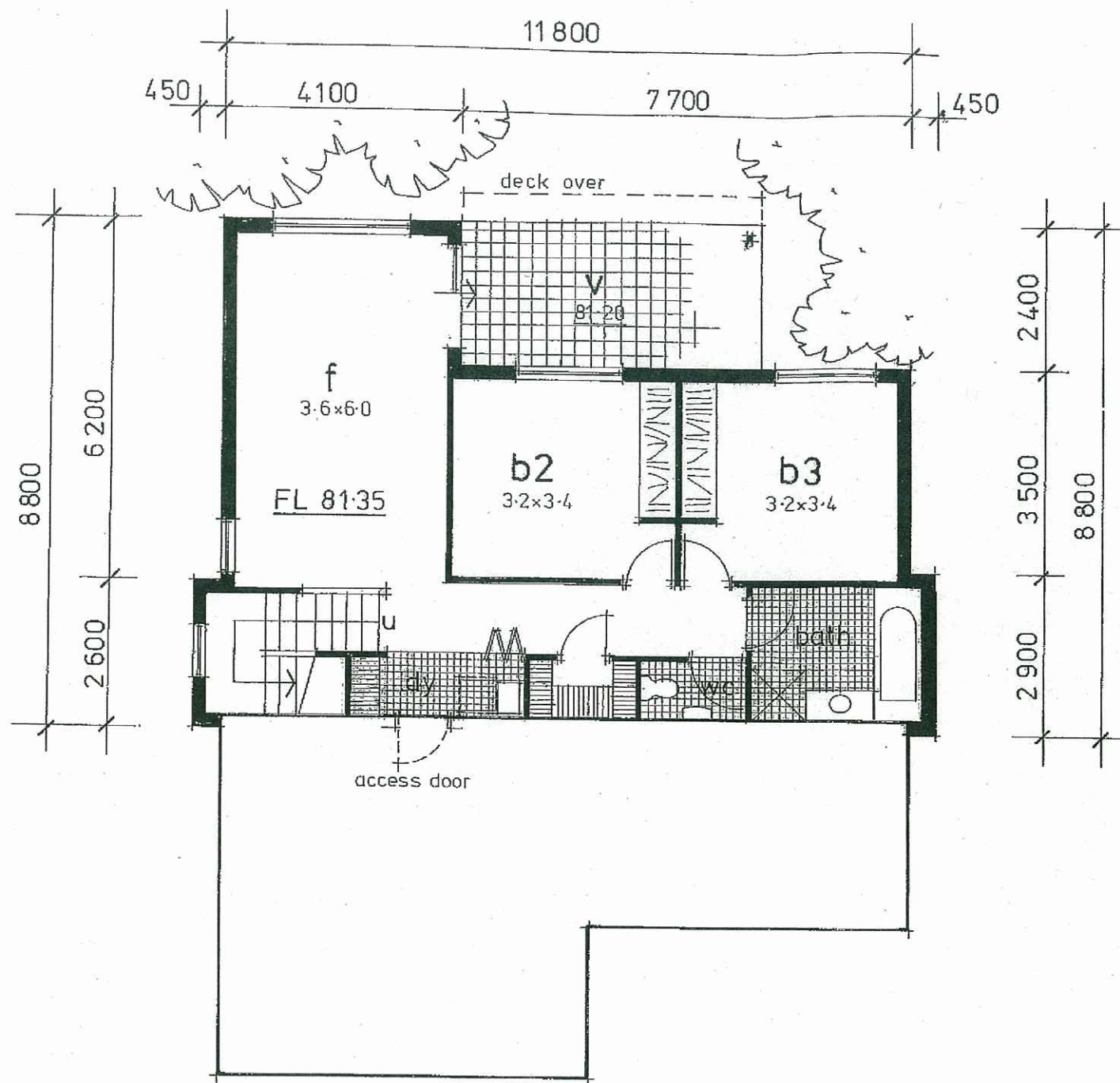
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 5 of 9





LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 6 of 9

ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Study	1800	900	D/H
W2	Study	1800	900	D/H
W3	Kitchen	1050	1500	S/W
W4	Dining	600	1800	S/W
W5	Dining	1200	1800	S/W
W6	Bedroom 1	1200	2400	S/W
W7	Ensuite	900	900	A/W – D/H
W8	Stair	900	900	Fixed
W9	Stair	900	900	Fixed
W10	Garage	1200	1200	A/W
W11	Garage	1200	1200	A/W
W12	Bedroom 3	1200	1800	S/W
W13	Bedroom 2	1200	1800	S/W
W14	Family	1200	2400	S/W
W15	Family	900	9000	A/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Lounge	3600 – centre opening
Bedroom 1	1800
Family	1800

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Assessment Report and AS 3959 – 1999 ‘Construction of Buildings in Bushfire Prone Areas.

PROPOSED RESIDENTIAL DEVELOPMENT

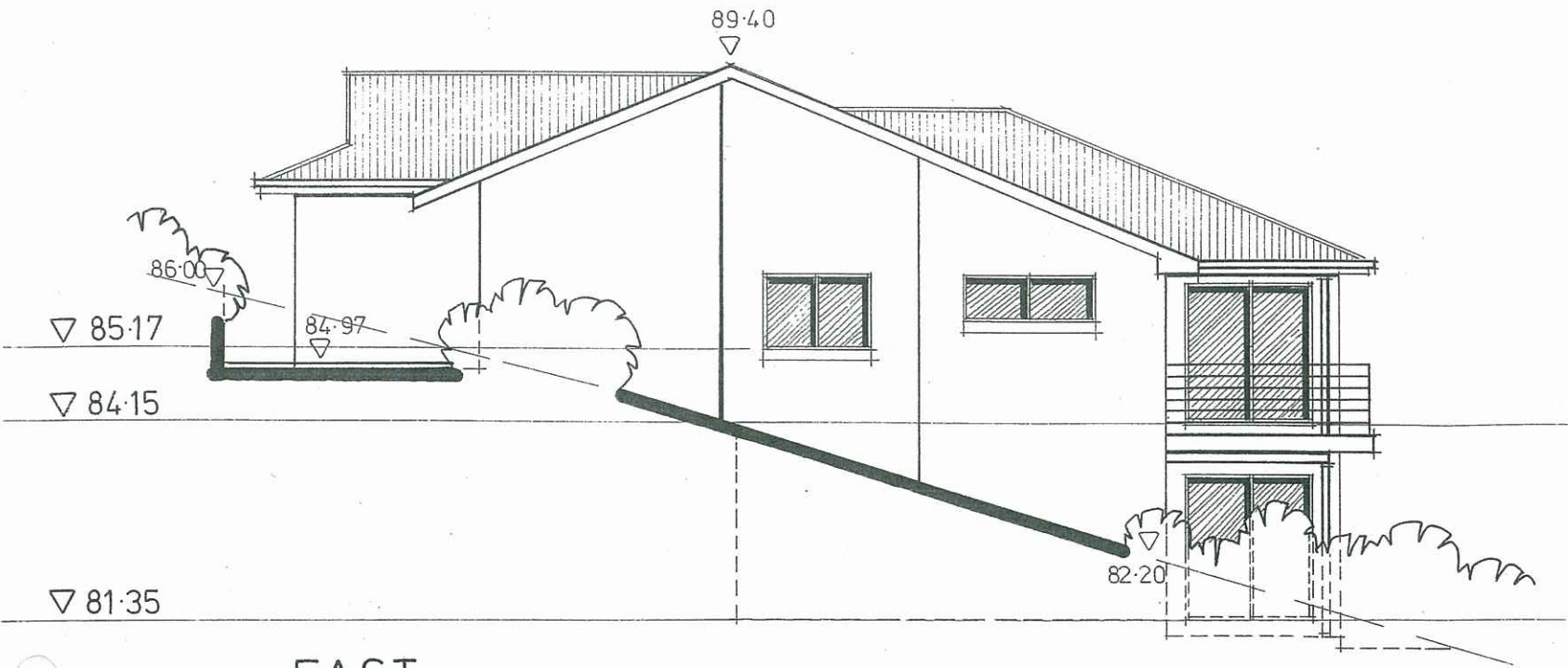
Location: LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

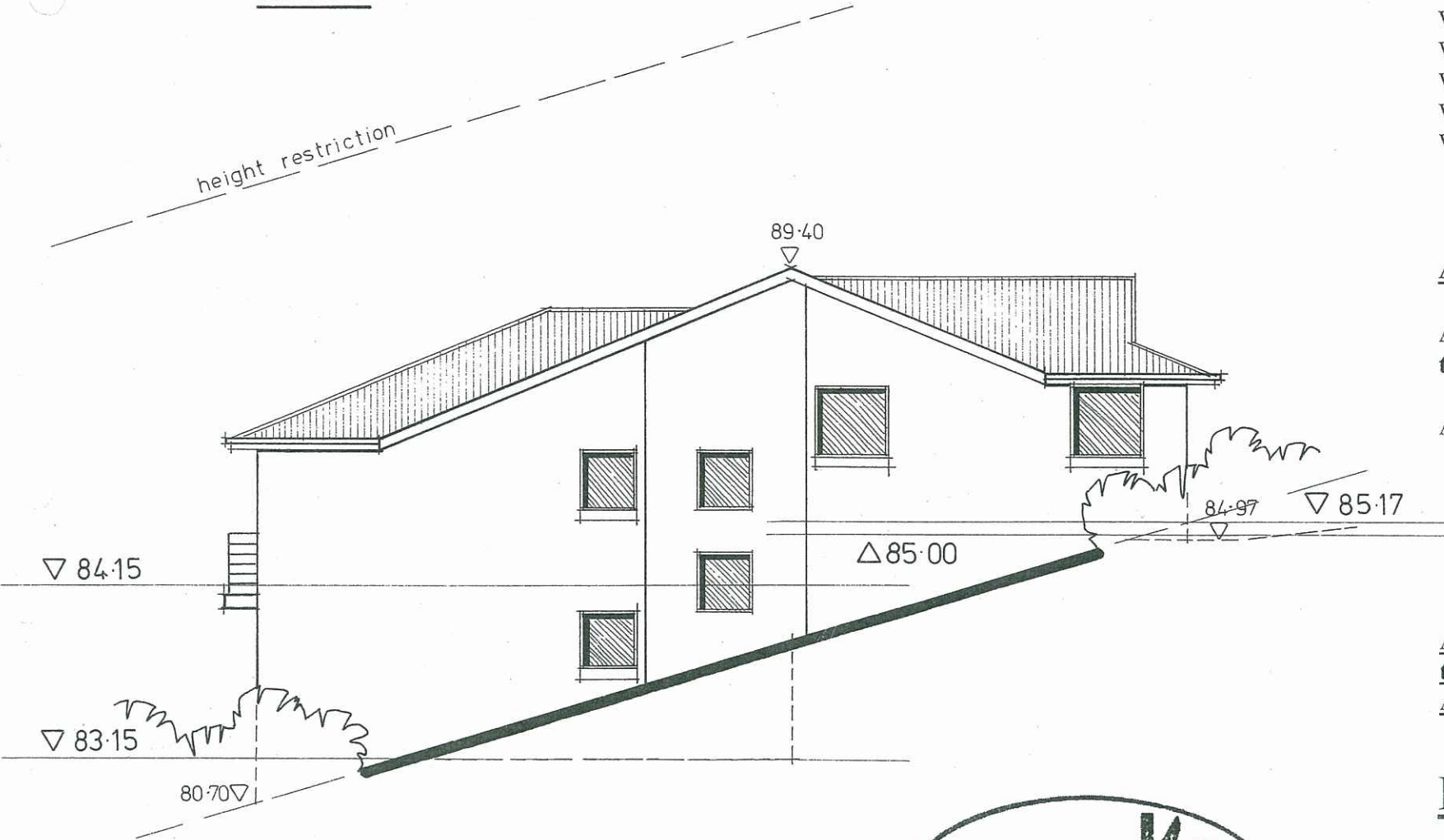
September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9



EAST



WEST

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

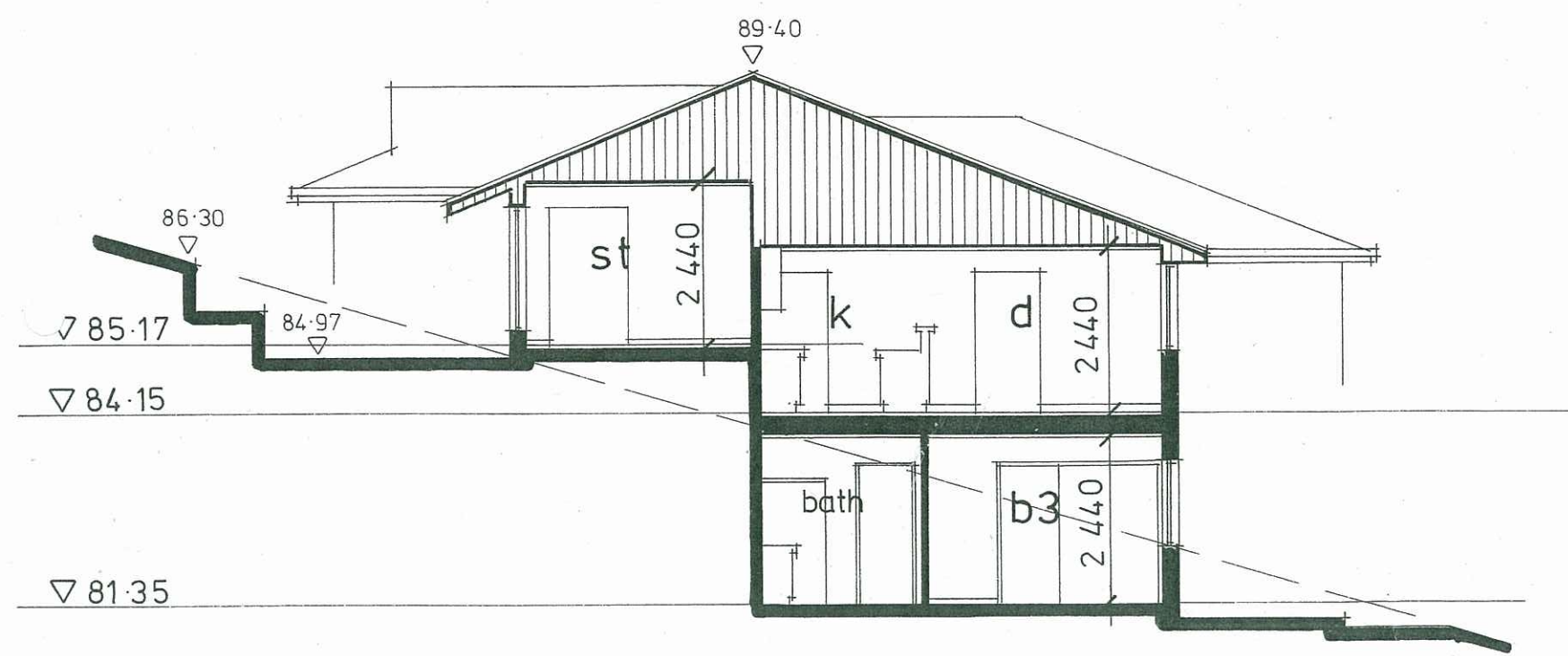




SOUTH



NORTH



SECTION

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

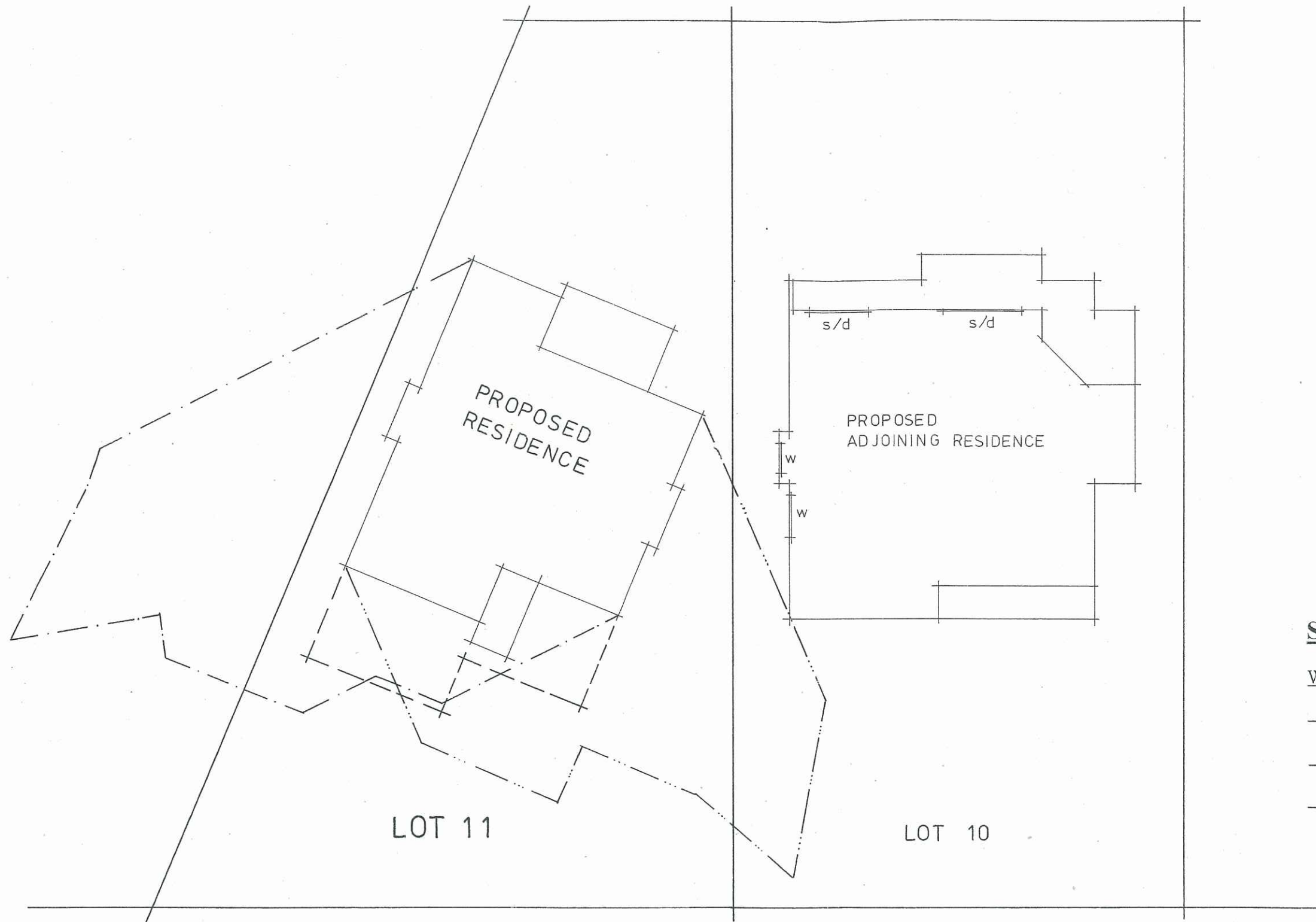
Location: LOT 11 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9



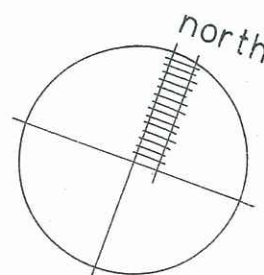
T H E S C E N I C R O A D

SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

— · — · — 9 am
 - - - - - 12 noon
 — · · · · — 3 pm

SHADOW DIAGRAM 1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683
 THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
 Ph / Fax 43 920866

Drawing No 9 of 9

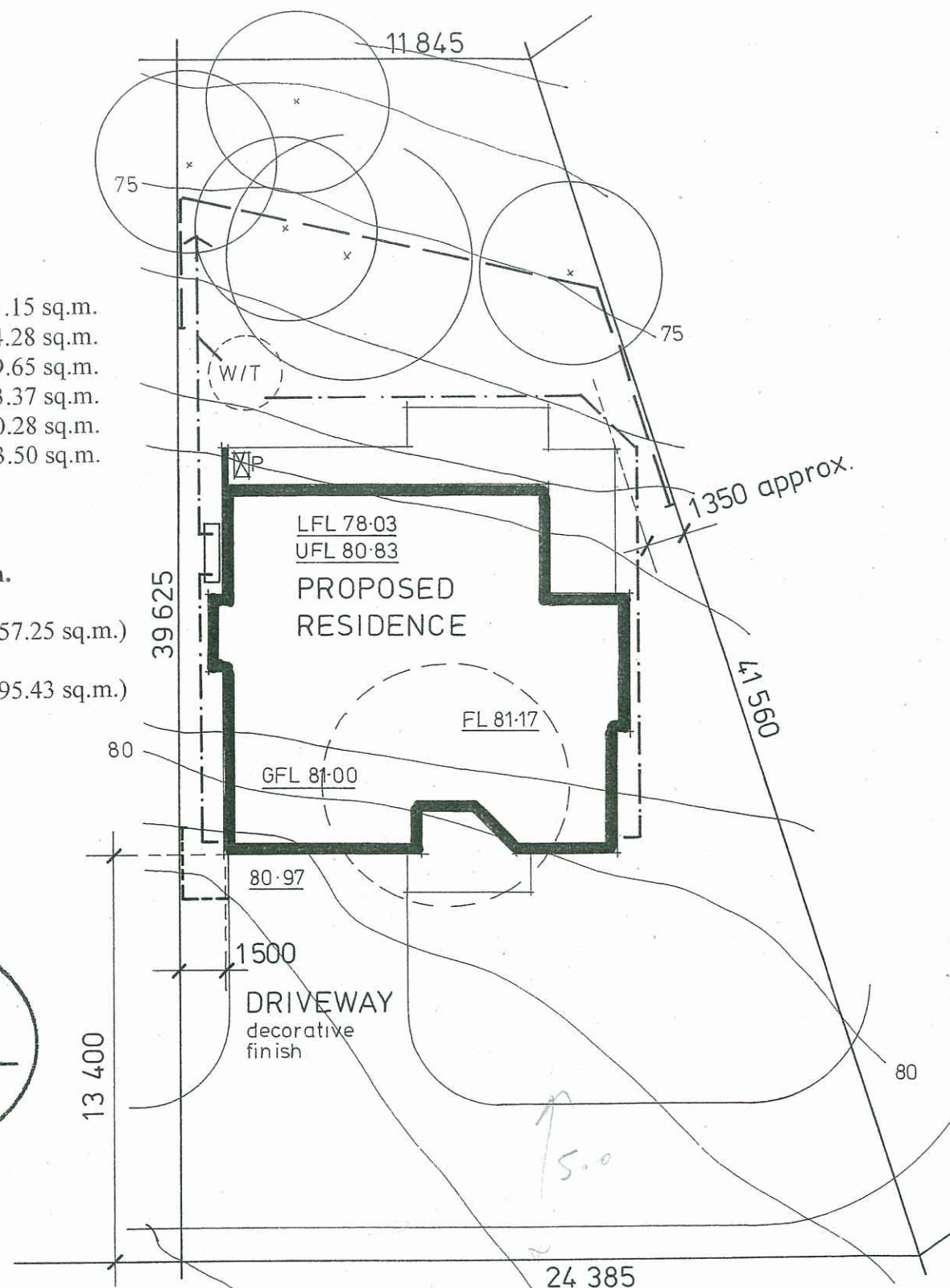
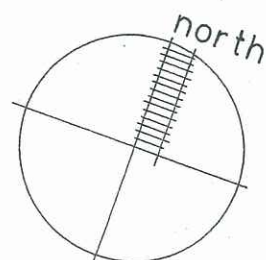
PROPOSED RESIDENCE

Upper Floor Level	111.15 sq.m.
Lower Floor Level	84.28 sq.m.
Double Garage	39.65 sq.m.
Front Verandah	3.37 sq.m.
Upper Deck / Verandah	30.28 sq.m.
Lower Deck / Verandah	13.50 sq.m.

Development Area: 282.23 sq.m.

Maximum Floor Space Ratio: 0.5 : 1 (357.25 sq.m.)

Actual Floor Space Ratio: 0.27 : 1 (195.43 sq.m.)



T H E S C E N I C R O A D

SITE DEVELOPMENT PLAN 1:200

**LOT 8 in DP 25683
714.5 sq.m.**

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

W/T Minimum 10,000 litre static water supply tank

P Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

Existing trees to be retained / protected during construction

Existing trees to be removed to allow for proposed residence

80-97 Finished ground levels

Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **LOT 8 in DP 25683**
THE SCENIC ROAD, MACMASTERS BEACH.

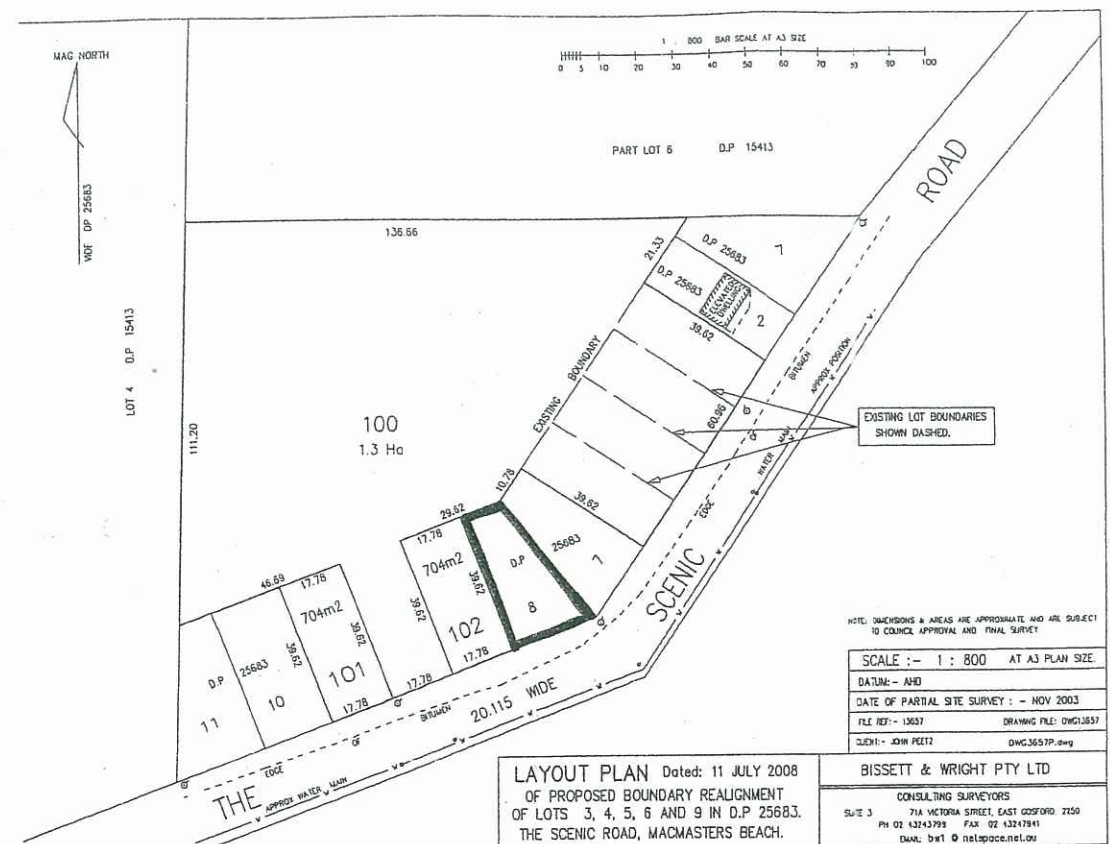
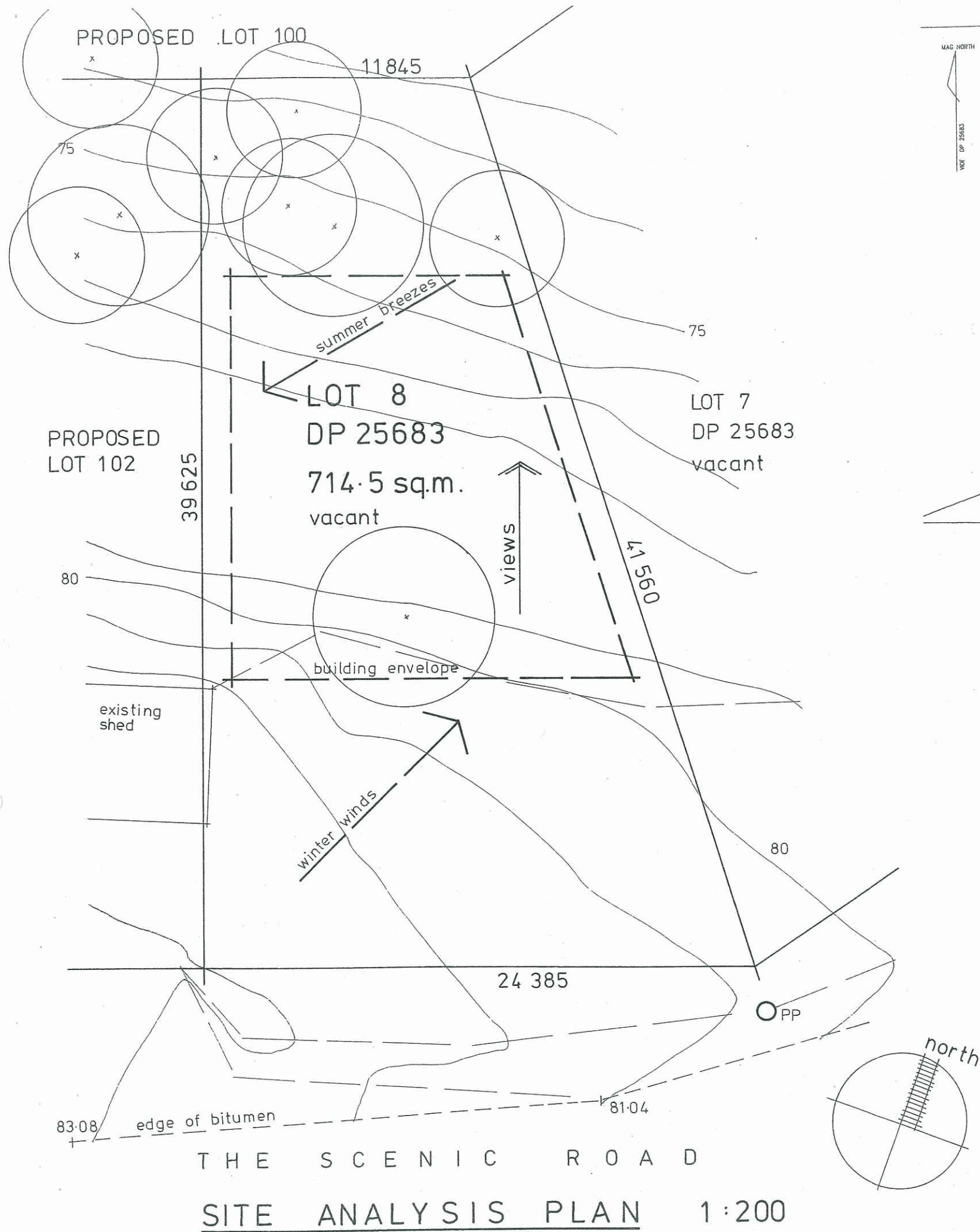
Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 1 of 9

6715460



The site is currently vacant but has a derelict structure being within the site and the adjoining western property.
 Site has consistent fall to the northern boundary
 Contours at 1 metre intervals to AHD – refer Survey plan
 Site is not subject to mines subsidence
 Site is not subject to flooding
 Site is not subject to easements / right of ways / restrictions / covenants
 Site is not subject to natural watercourses or land features
 Orientation of site to true north is shown
 Views are to the northern area of the site
 Existing trees have been shown on site
 Prevailing summer breezes are from the north - east
 Prevailing winter winds are from the south - west
 Adjoining sites are currently vacant of residences but do have derelict structures
 Water and electricity located in The Scenic Road
 Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **LOT 8 in DP 25683**
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
 Ph / Fax 43 920866

Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes
The Following Specifications Apply to
this Development

- RAINWATER TANK
- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 180square metres of roof.
 - Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.
- WATER FIXTURES
- 3Star Showers and Tapware to be installed.
 - 4Star Toilets to be installed.
- HOT WATER SYSTEM
- HWS - Solar Elec. Boost Min 26RECS
- HEATING / COOLING
- Nil
- VENTILATION / ELECTRICAL
- Ind. fan, manual switch to Kitchen
 - Ducted fan, manual switch to Bathroom
- LIGHTING
- Fluorescent Light Globes to Min. 2 Bedrooms
 - Dedicated Fluorescent Light to Laundry
- OTHER
- Outdoor Clothes line to be installed
 - Kitchen Window Included in Design
 - Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	20003	Certificate #	88621664	Issued:	11-Sep-08
Thermal Performance Specifications					
These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.					
Windows	Product ID	Glass	Frame	U value SHGC	Area M Detail
39m		Single clear	Aluminium	3mm Clr Uw<=7.727, SHGC 0.778~10%	
Skylights	Product ID	Glass	Frame	U value SHGC	Area M Detail
Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.					
External walls Construction	Insulation	Colour - Solar absorptance	Detail		
Brick Veneer	R1.5	Light -SA <0.475			
Internal walls Construction	Insulation	Detail			
Plasterboard on Studs	None				
Brick plastered	None				
Floors Construction	Insulation	Covering	Detail		
Concrete	None	Carpet			
Concrete	None	Ceramic Tile			
Ceilings Construction	Insulation	Detail			
Plasterboard	R3.0	As per detail on plans			
Plasterboard	None	intermediate floor-ceilings			
Roof Construction	Insulation	Colour	Detail		
Roofing Tiles	Foil (Sisalation)	Dark -SA > 0.7			
Window cover Internal (curtains)	External (awnings, shutters, etc)				
None	None				
Fixed shading Eaves (width - inc. gutters, height above window)	Verandahs, Pergolas (type, description)				
450 0 600mm Overall	100 percent	As per detail on plans			
Overshadowing Overshadowing structures	Overshadowing trees				
Orientation, Exposure, Ventilation and Insulation					
Orientation of nominal north	0	Area open to entry	Yes	Ventilated skylights	No
Terminated by subfloor	No	Stair open to entry	Yes	Open fire or unfired gas heater	No
Room ventilation	No	Stair open to heated areas	Yes	Vented downlights	No
Cross ventilation	No	Seals to windows and doors	Yes	Wall and ceiling vents	No
Subfloor ventilation	On ground	Exhaust fans without dampers	No		
Assr #	20003	Cert #	88621664		
Sign					
Date	11-Sep-08				

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with
Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

**Construction and insulation as per ABSA Specification as prepared by
Solar Smart of Swansea.**

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

**All work to be done in accordance and must comply with
AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.**

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

**All fire protection requirements to be done in accordance with the Bushfire
Protection Assessment report as prepared by Australian Bushfire Protection
Planners Pty Limited of Somersby.**

PROPOSED RESIDENTIAL DEVELOPMENT

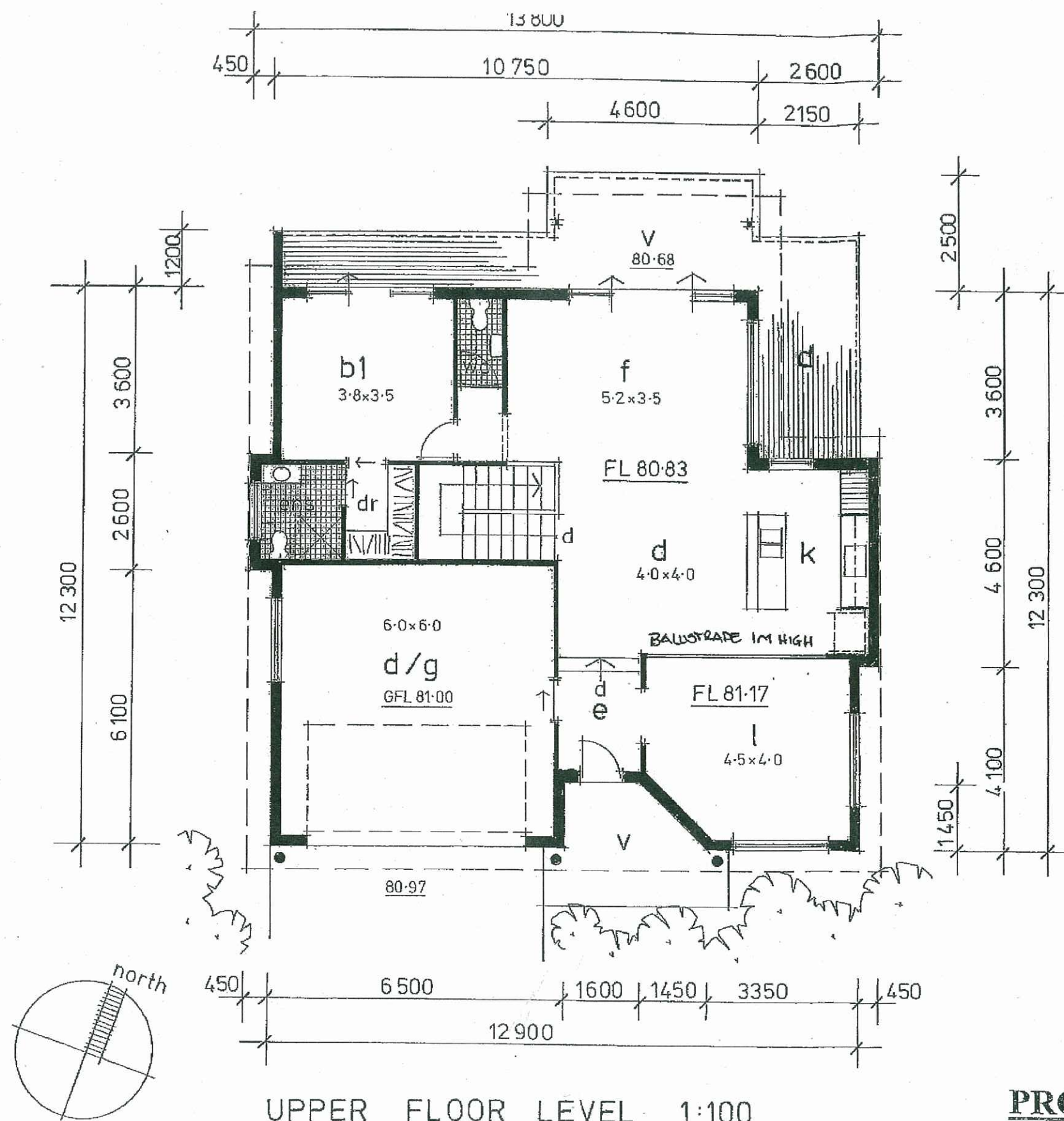
Location: **LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.**

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

**Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866**

Drawing No 4 of 9



Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

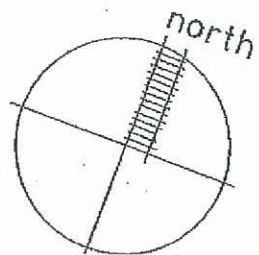
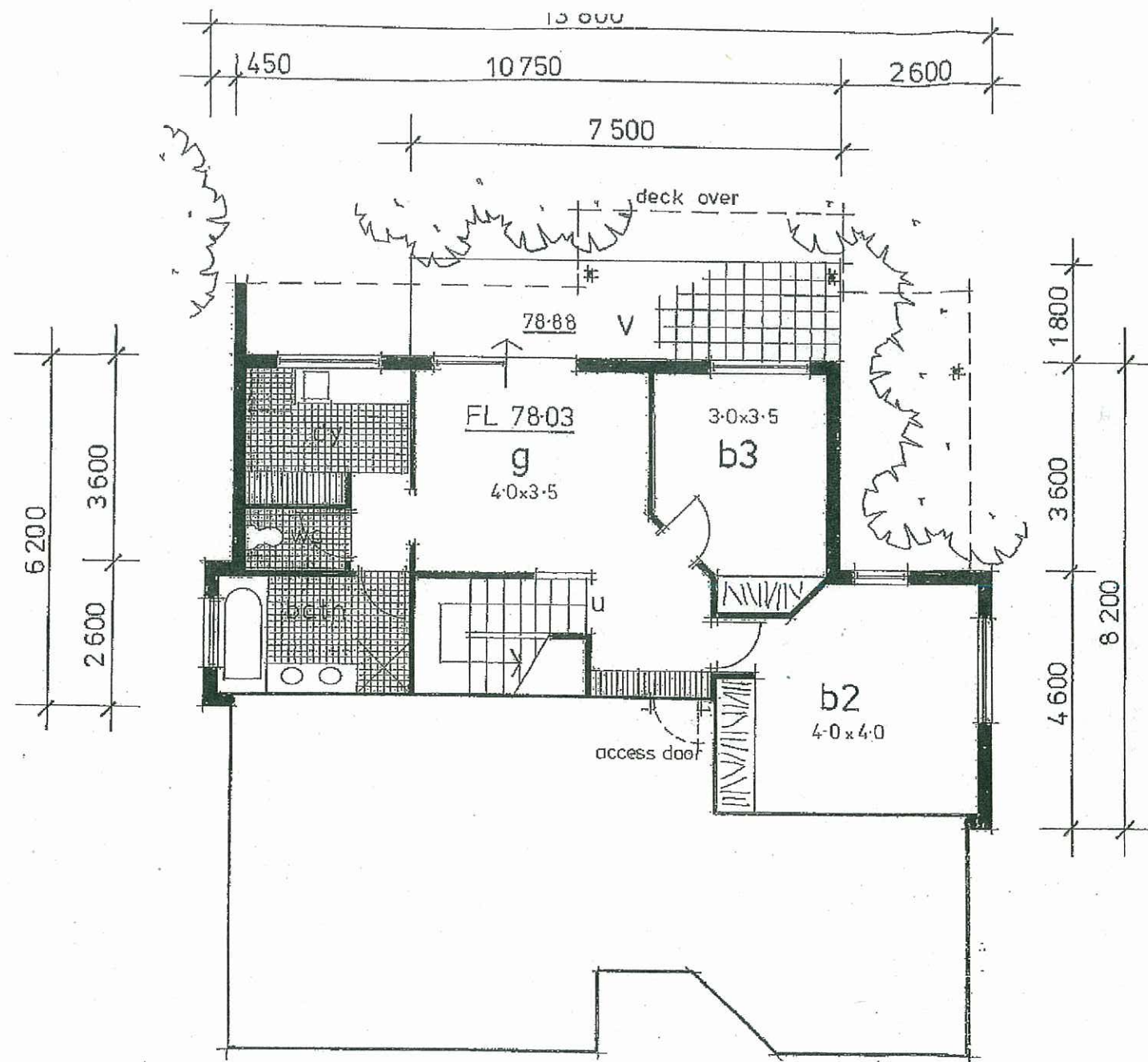
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 5 of 9





LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

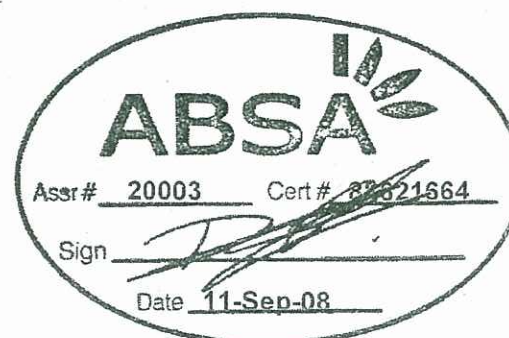
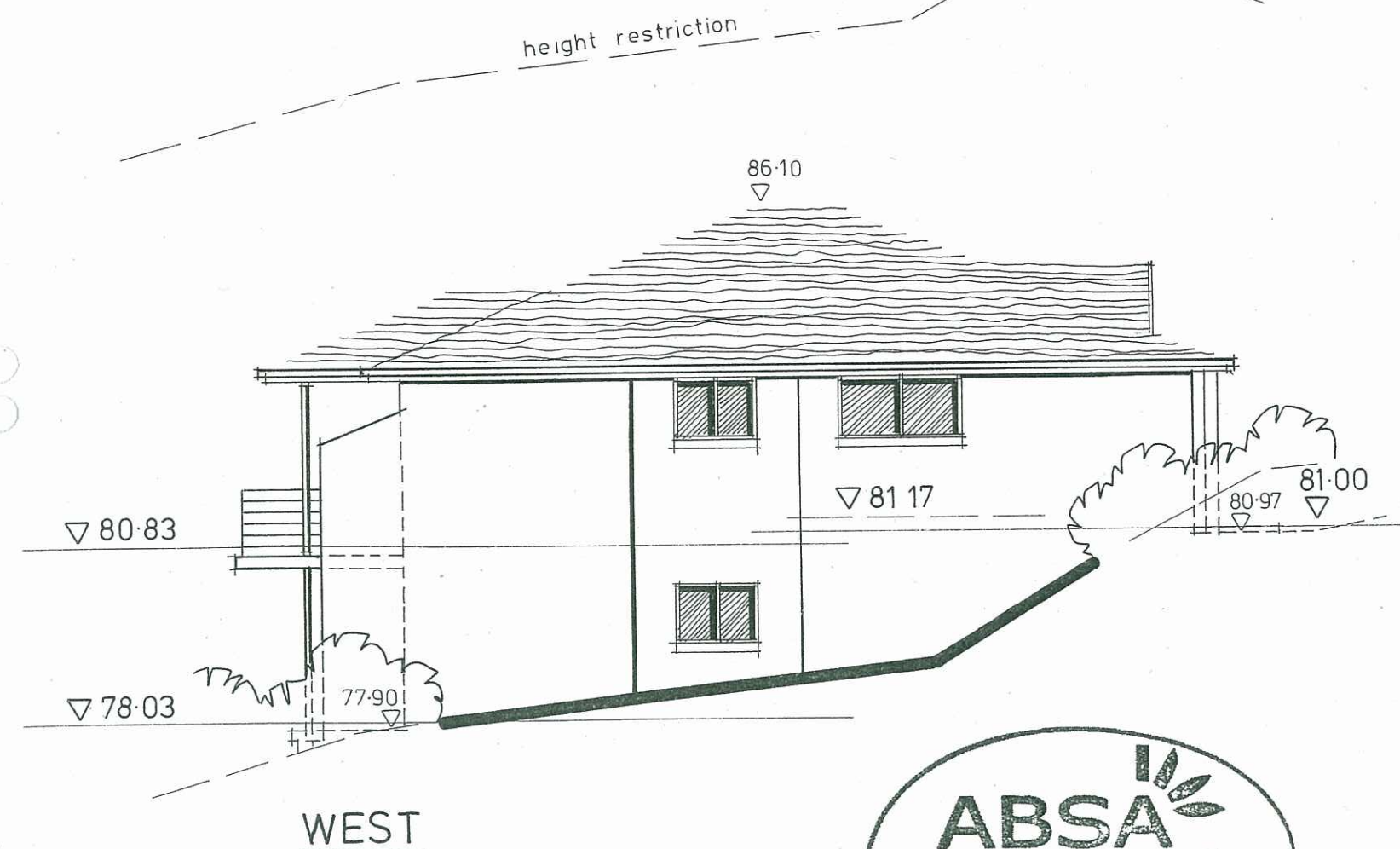
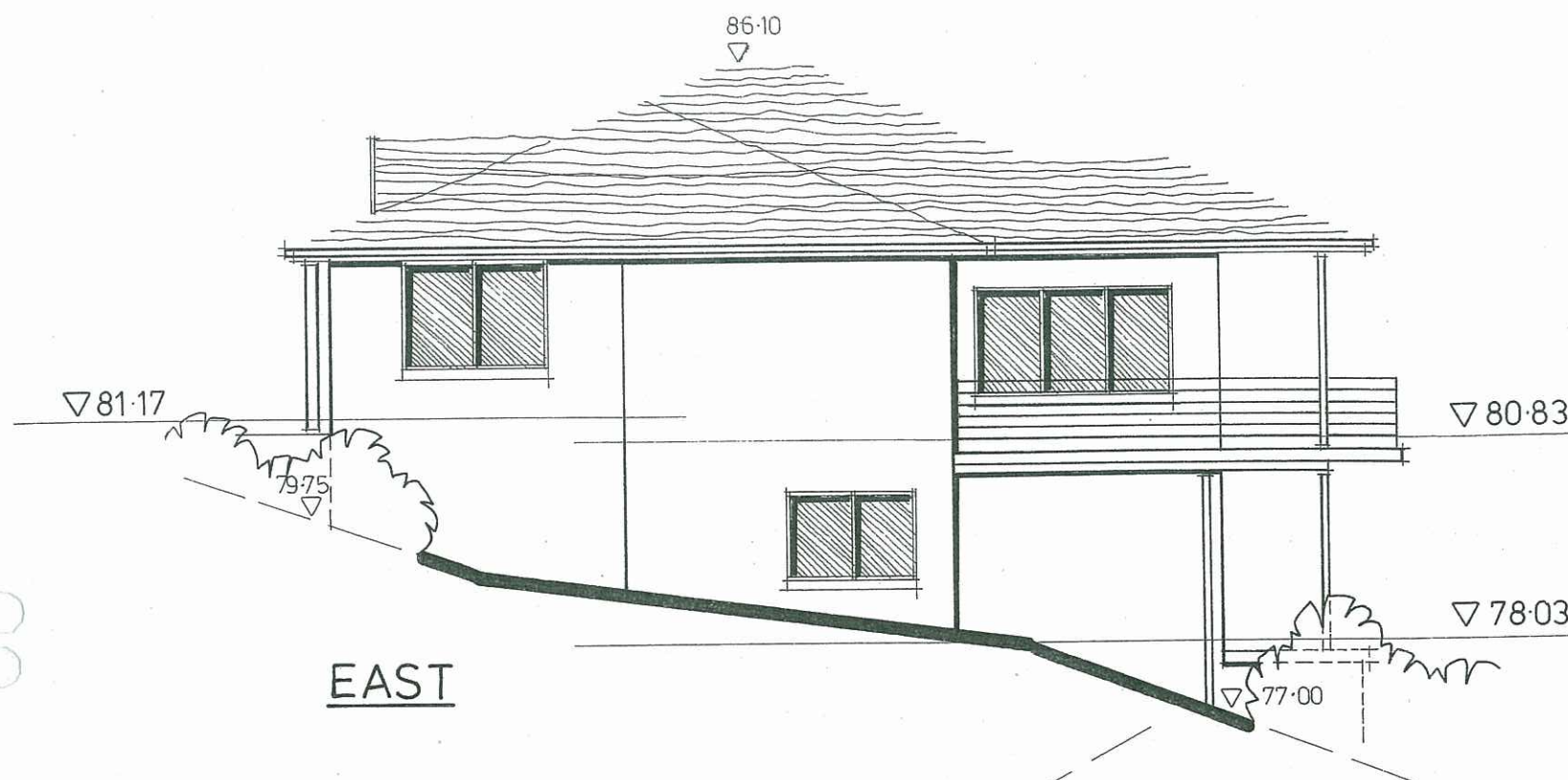
Location: LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 6 of 9



ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Lounge	1500	2100	S/W
W2	Lounge	1500	2100	S/W
W3	Kitchen	1500	900	D/H
W4	Ensuite	900	1200	S/W - O/G
W5	Garage	900	1800	S/W
W6	Bedroom 2	1200	1800	S/W
W7	Bedroom 2	1500	900	D/H
W8	Bedroom 3	1200	1800	S/W
W9	Laundry	900	1800	S/W
W10	Bathroom	900	1200	S/W - O/G

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Family	3600
Bedroom 1	2700
Games Room	2400

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Assessment Report and AS 3959 - 1999 'Construction of Buildings in Bushfire Prone Areas.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

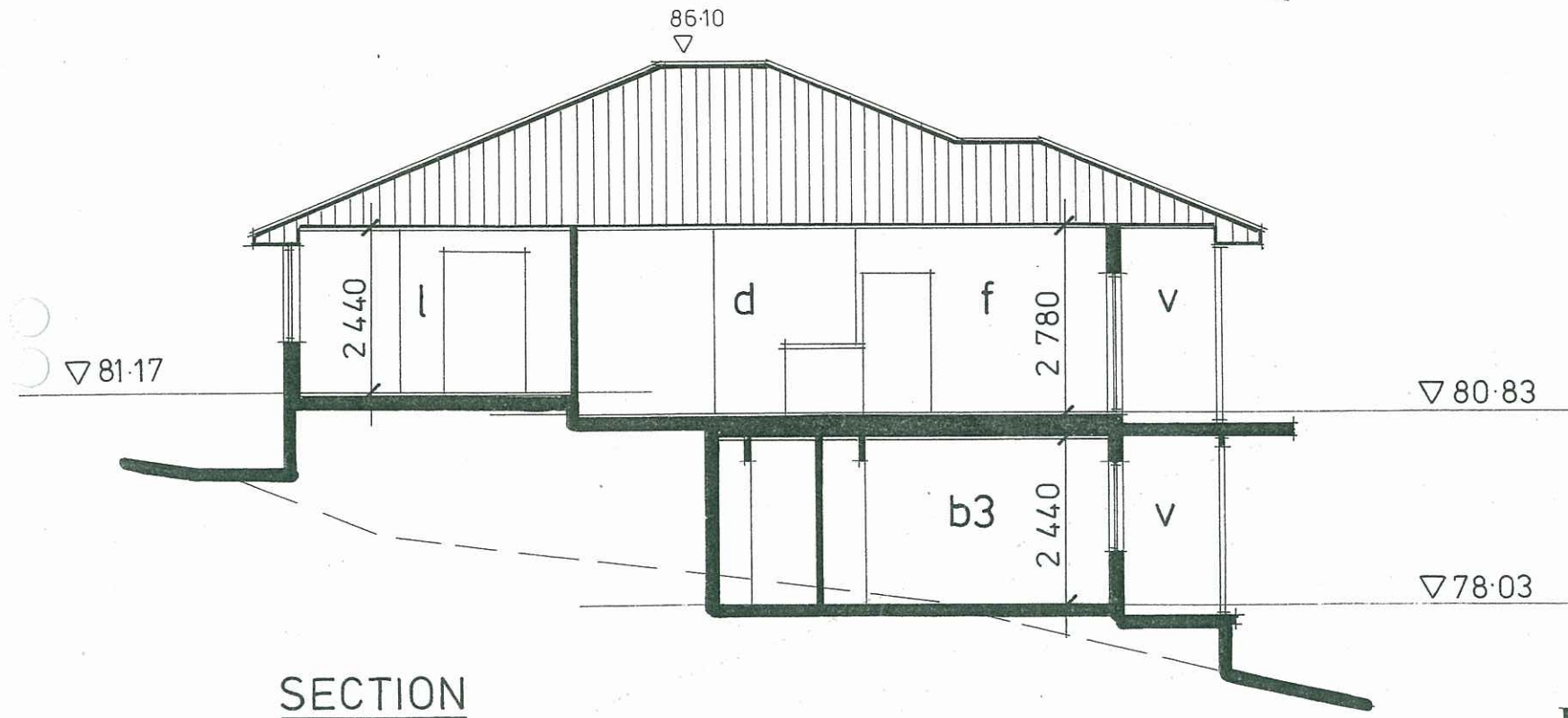
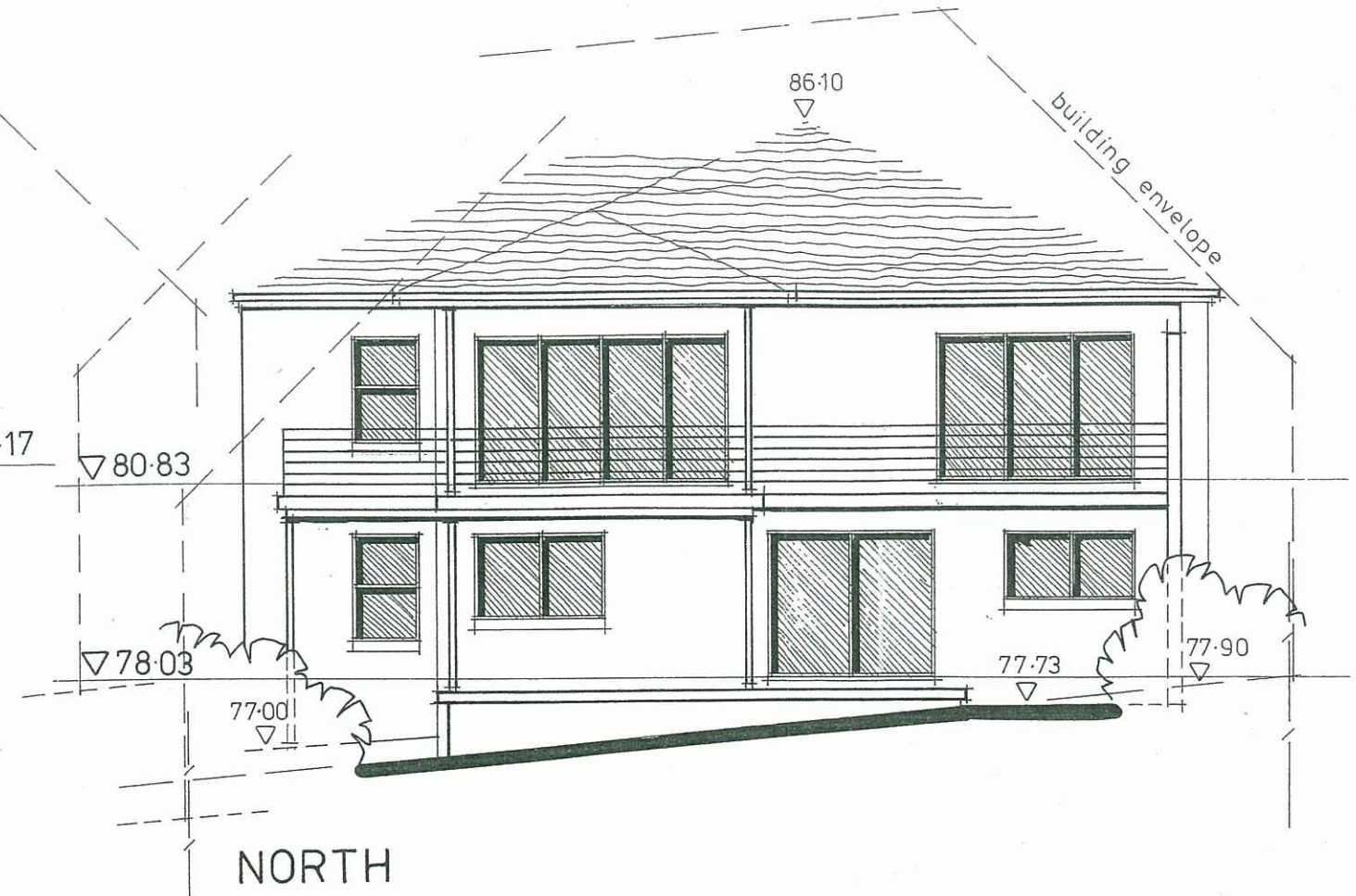
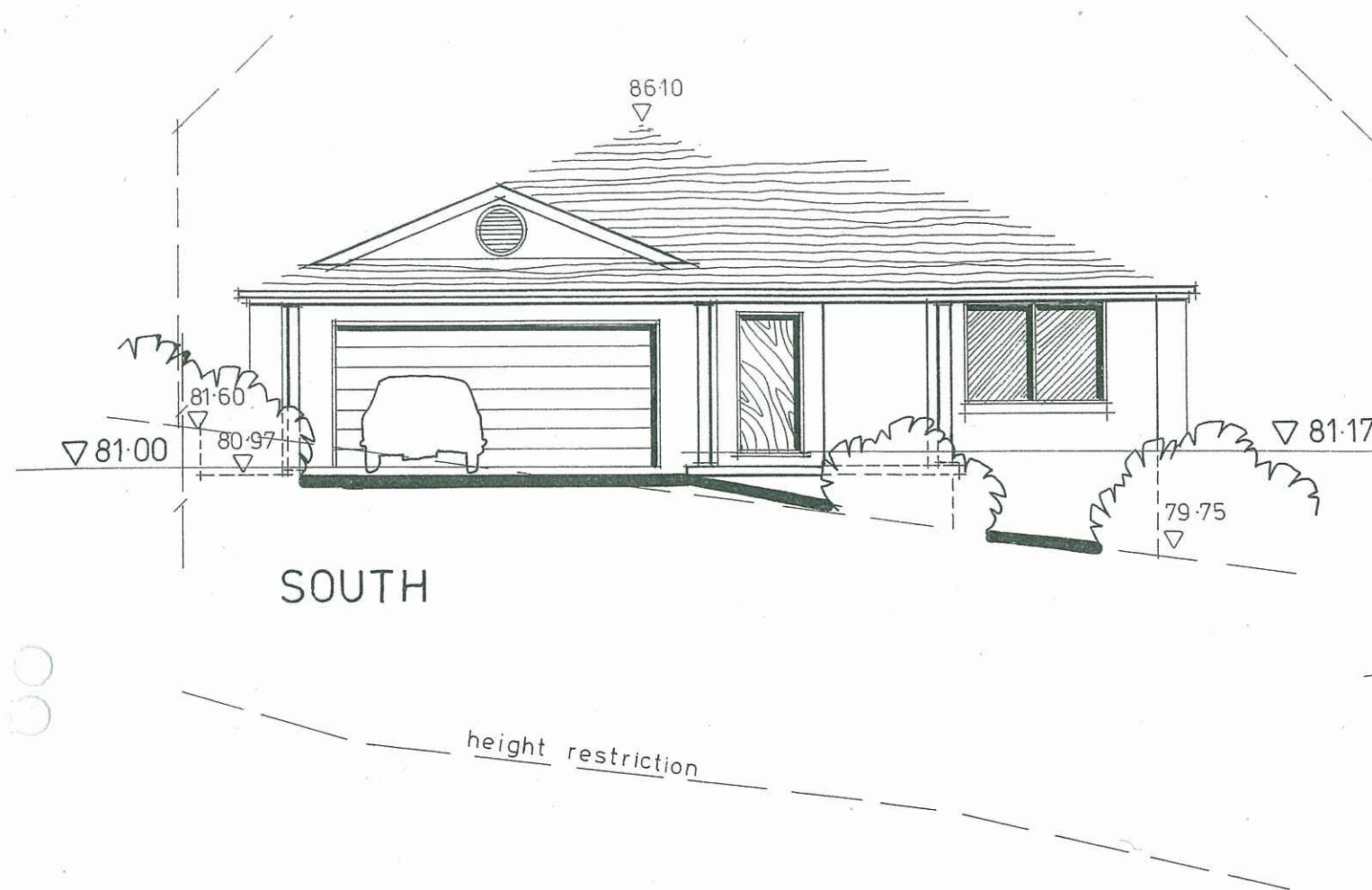
Location: LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9



Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9

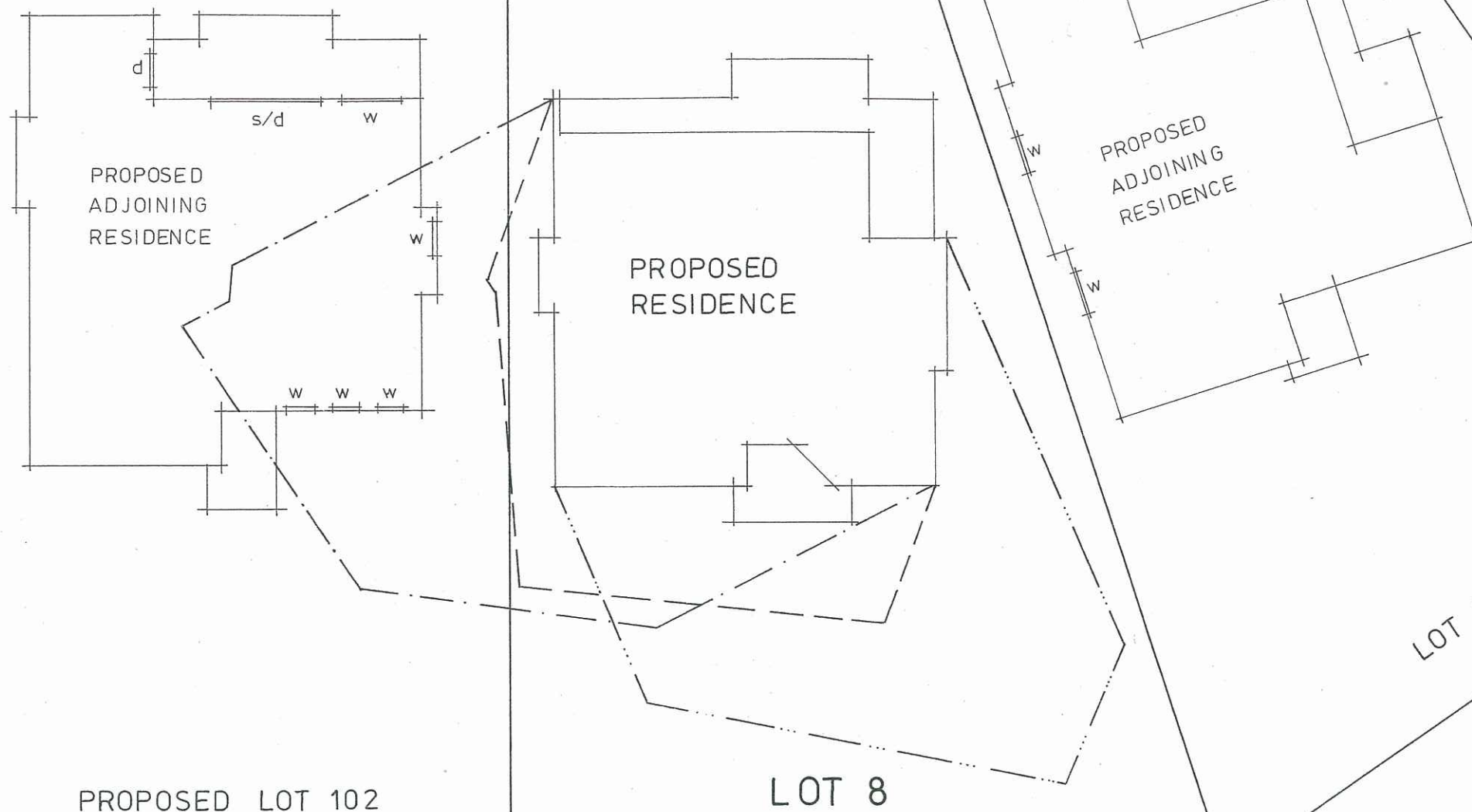
SHADOW DIAGRAM LEGEND

Winter Solstice – June 21

— · — · — 9 am

— — — — 12 noon

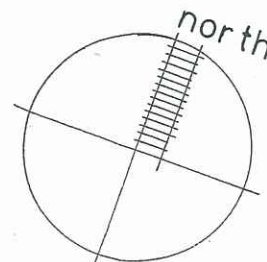
— · · · — 3 pm



T H E S C E N I C R O A D

PROPOSED RESIDENTIAL DEVELOPMENT

SHADOW DIAGRAM 1 : 200



Location: LOT 8 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 9 of 9

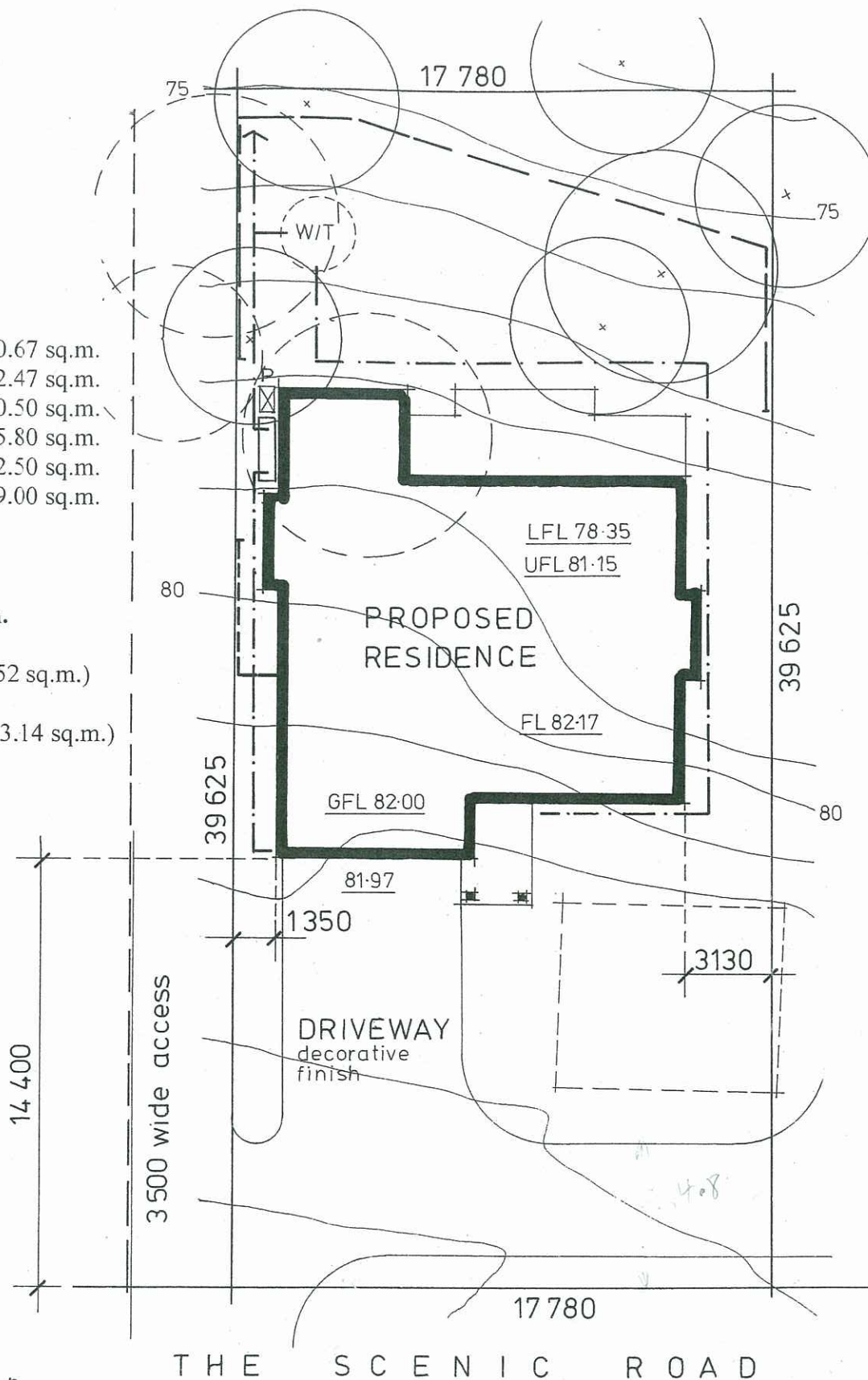
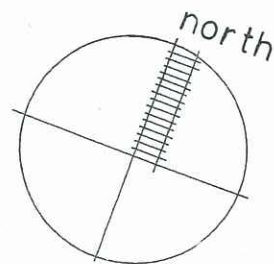
PROPOSED RESIDENCE

Upper Floor Level	130.67 sq.m.
Lower Floor Level	102.47 sq.m.
Double Garage	40.50 sq.m.
Front Verandah	5.80 sq.m.
Upper Deck / Verandah	22.50 sq.m.
Lower Deck / Verandah	9.00 sq.m.

Total Development Area: 310.94 sq.m.

Maximum Floor Space Ratio: 0.5 : 1 (352 sq.m.)

Actual Floor Space Ratio: 0.33 : 1 (233.14 sq.m.)



SITE DEVELOPMENT PLAN 1:200

PROPOSED LOT 102
704 sq.m.

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.

Minimum 3000 litre water storage tank as required by Basix

Insulation and construction to be in accordance with the ABSA / Basix Specification prepared by Solar Smart of Swansea.

Minimum 10,000 litre static water supply tank

Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)

Siltation control fencing to Council requirements

Stormwater layout – diagrammatic only

Water tank overflows to be connected to the stormwater disposal system comprising of a nutrient control facility and concrete head wall with inbuilt scour protection.

An on-site sewer management system comprising of a holding tank and 'pump out' facility to be installed to Council requirements.

Existing trees to be retained / protected during construction

Existing trees to be removed to allow for proposed residence

Finished ground levels

Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

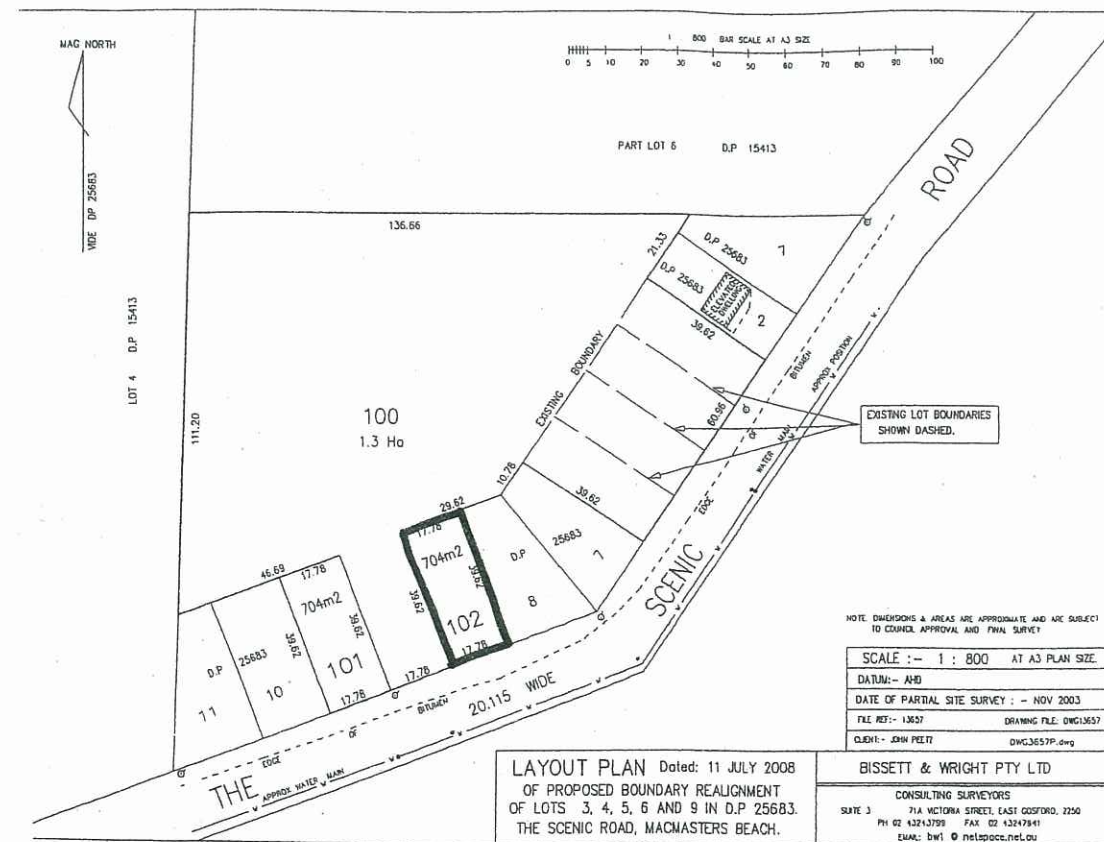
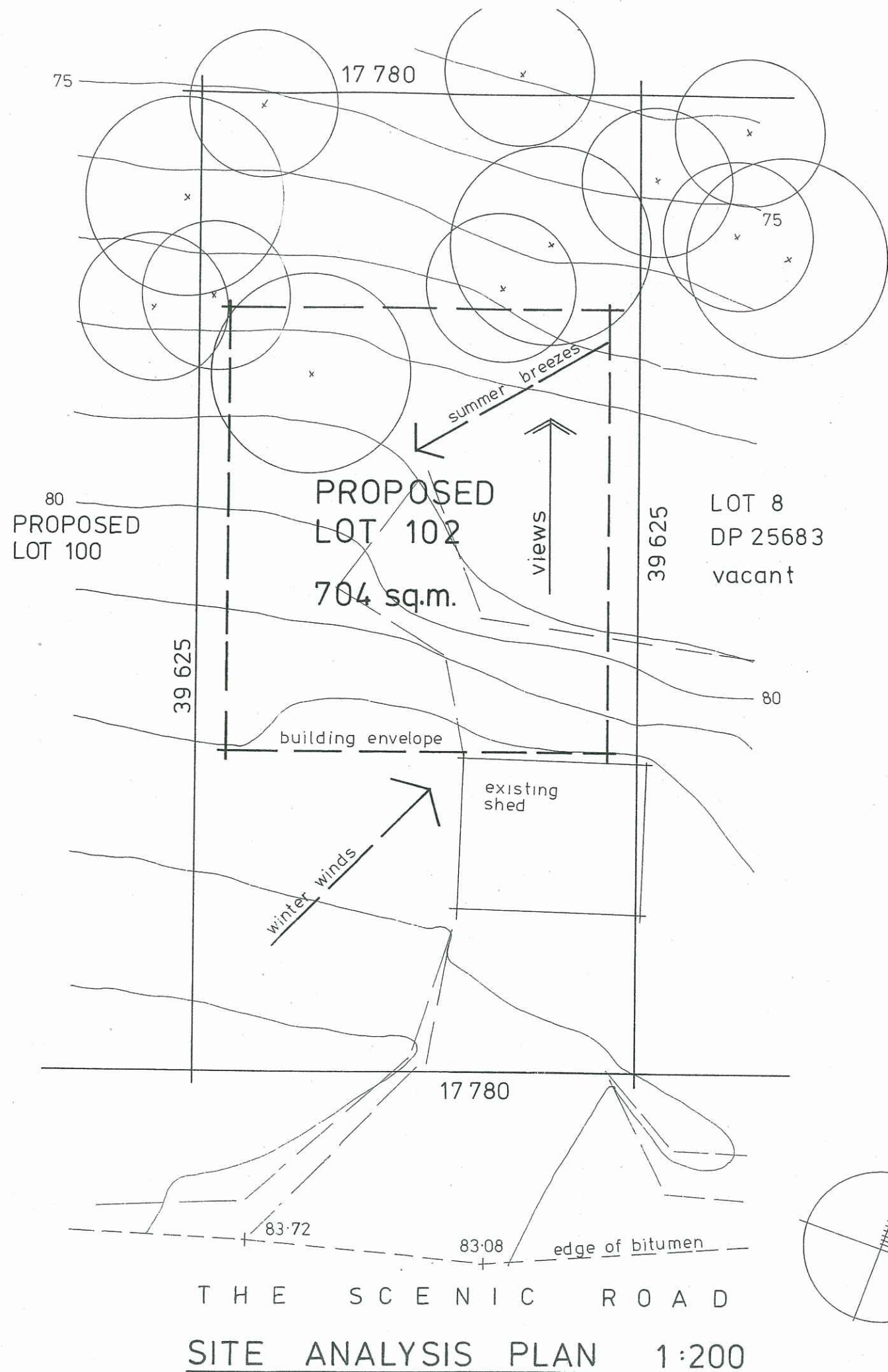
Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 1 of 9

6715464



The site is currently vacant but has a derelict structure being within the site and the adjoining eastern property.
 Site has consistent fall to the northern boundary
 Contours at 1 metre intervals to AHD – refer Survey plan
 Site is not subject to mines subsidence
 Site is not subject to flooding
 Site is not subject to easements / right of ways / restrictions / covenants
 Site is not subject to natural watercourses or land features
 Orientation of site to true north is shown
 Views are to the northern area of the site
 Existing trees have been shown on site
 Prevailing summer breezes are from the north - east
 Prevailing winter winds are from the south - west
 Adjoining sites are currently vacant of residences but do have derelict structures
 Water and electricity located in The Scenic Road
 Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 102**
 in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
 Ph / Fax 43 920866

Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA Section 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes

The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 180square metres of roof.

- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 3Star Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

- HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

- Nil

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor # 20003 Certificate # 41571726 Issued: 15-Sep-08

Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
43m		Single clear	Aluminium	3mm Clr Uw<=7.727	SHGC 0.778+-10%		

Skylights	Product ID	Glass	Frame	U value	SHGC	Area M	Detail
-----------	------------	-------	-------	---------	------	--------	--------

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

External walls Construction	Insulation	Colour - Solar absorptanc	Detail
Brick Veneer	R1.5	Light -SA <0.475	

Internal walls Construction	Insulation	Detail
Plasterboard on Studs	None	
Brick plastered	None	

Floors	Construction	Insulation	Covering	Detail
Concrete		None	Carpet	
Concrete		None	Ceramic Tile	

Ceilings	Construction	Insulation	Detail
Plasterboard		R3.0	As per detail on plans
Plasterboard		None	intermediate floor-ceilings

Roof	Construction	Insulation	Colour	Detail
Roofing Tiles		Foil (Sisalation)	Dark - SA > 0.7	

Window cover	Internal (curtains)	External (awnings, shutters, etc)
None		None

Fixed shading	Eaves (width - inc. gutters, height above window	Verandahs, Pergolas (type, description)
450	0 600mm Overall	100 percent As per detail on plans

Overshadowing	Overshadowing structures	Overshadowing trees
---------------	--------------------------	---------------------

Orientation, Exposure, Ventilation and Infiltration			
Orientation of nominal north	340	Area open to entry	Yes
Terrace category	Subterranean	Two areas separated by doors	Yes
Roof ventilation	On ground	Stair open to heated areas	Yes
Cross ventilation	Standard	Seals to windows and doors	Yes
Subfloor ventilation	On ground	Exhaust fans without dampers	No

Assr #20003 Cert #41571726

Sign

Date 15-Sep-08

PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with
Waterproof membrane on sand bedding to underside of slab as required
Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected
Provide obscure glass to all bathroom / water closet windows
Aluminium sliding doors to match windows
Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

**Construction and insulation as per ABSA Specification as prepared by
Solar Smart of Swansea.**

FIRE REQUIREMENTS –LEVEL 3 CONSTRUCTION

**All work to be done in accordance and must comply with
AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.**

All deck areas to be constructed of fire-retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence.
Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion-resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

**All fire protection requirements to be done in accordance with the Bushfire
Protection Assessment report as prepared by Australian Bushfire Protection
Planners Pty Limited of Somersby.**

PROPOSED RESIDENTIAL DEVELOPMENT

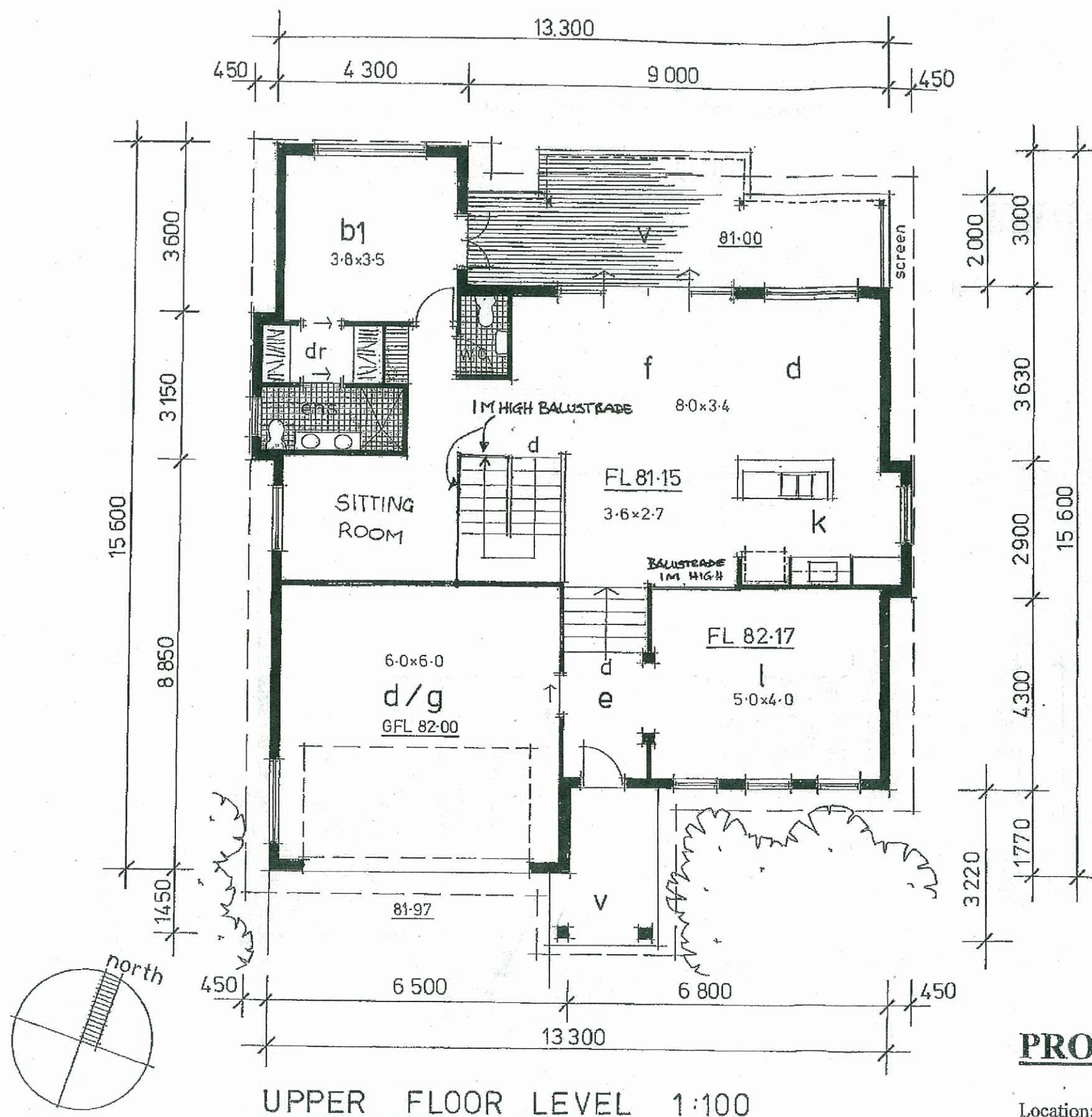
Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 4 of 9



UPPER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

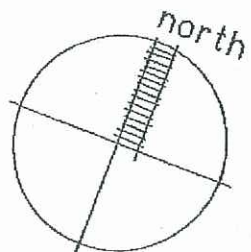
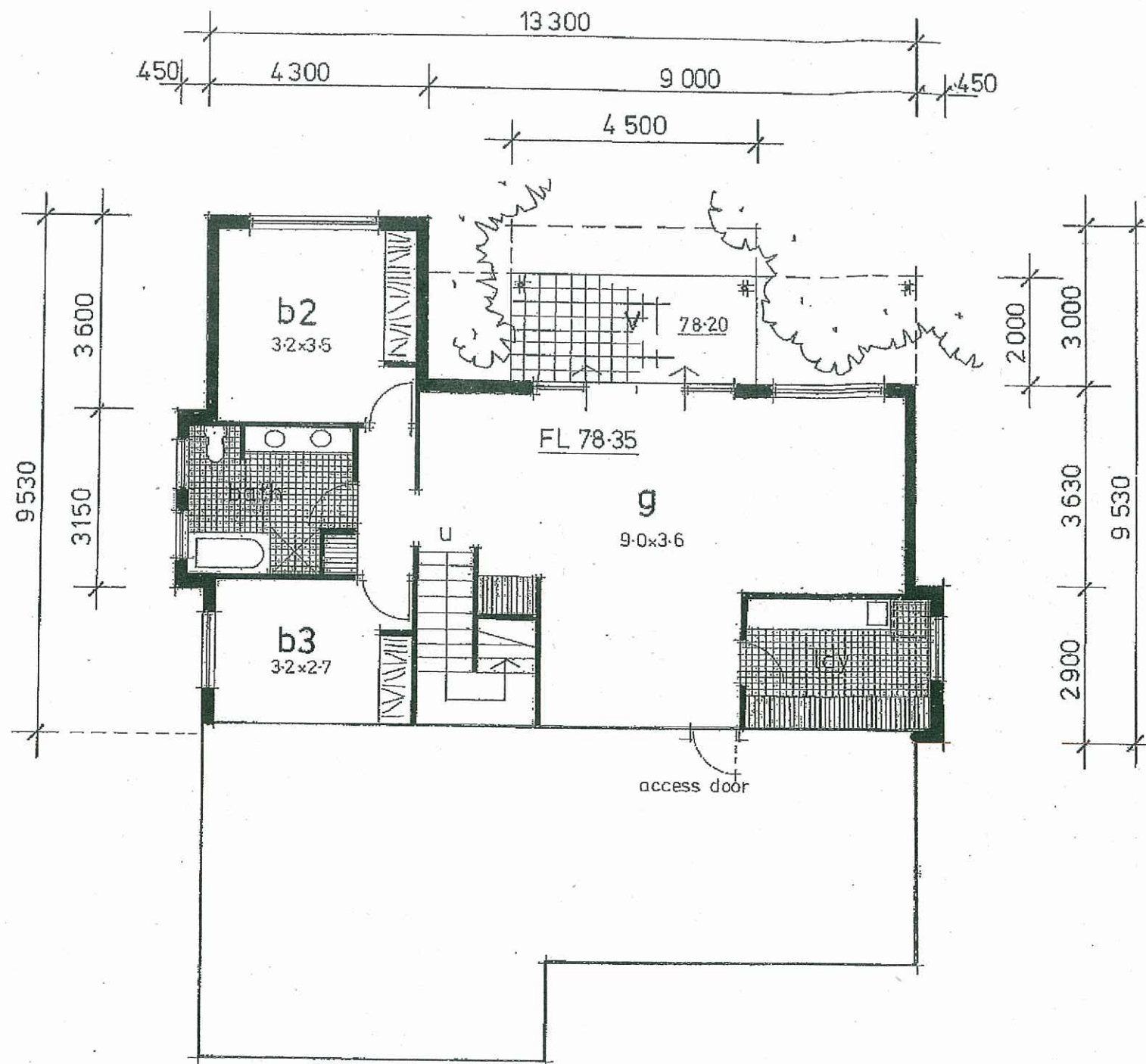
Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 5 of 9



LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010



PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 6 of 9A

ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Lounge	1800	900	D/H
W2	Lounge	1800	900	D/H
W3	Lounge	1800	900	D/H
W4	Kitchen	1500	1200	S/W
W5	Dining	1500	2100	S/W
W6	Bedroom 1	1200	2400	S/W
W7	Ensuite	900	900	A/W - O/G
W8	Study	900	1500	S/W
W9	Games Room	900	1800	S/W
W10	Laundry	1200	1200	S/W
W11	Bedroom 3	1200	2100	S/W
W12	Bedroom 2	1200	2400	S/W
W13	Bathroom	600	900	A/W - O/G
W14	Bathroom	600	900	A/W - O/G
W15	Bedroom 4	900	1500	S/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Family	3600
Bedroom 1	1200 - French doors
Games Room	3600

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Assessment Report and AS 3959 - 1999 'Construction of Buildings in Bushfire Prone Areas.

PROPOSED RESIDENTIAL DEVELOPMENT

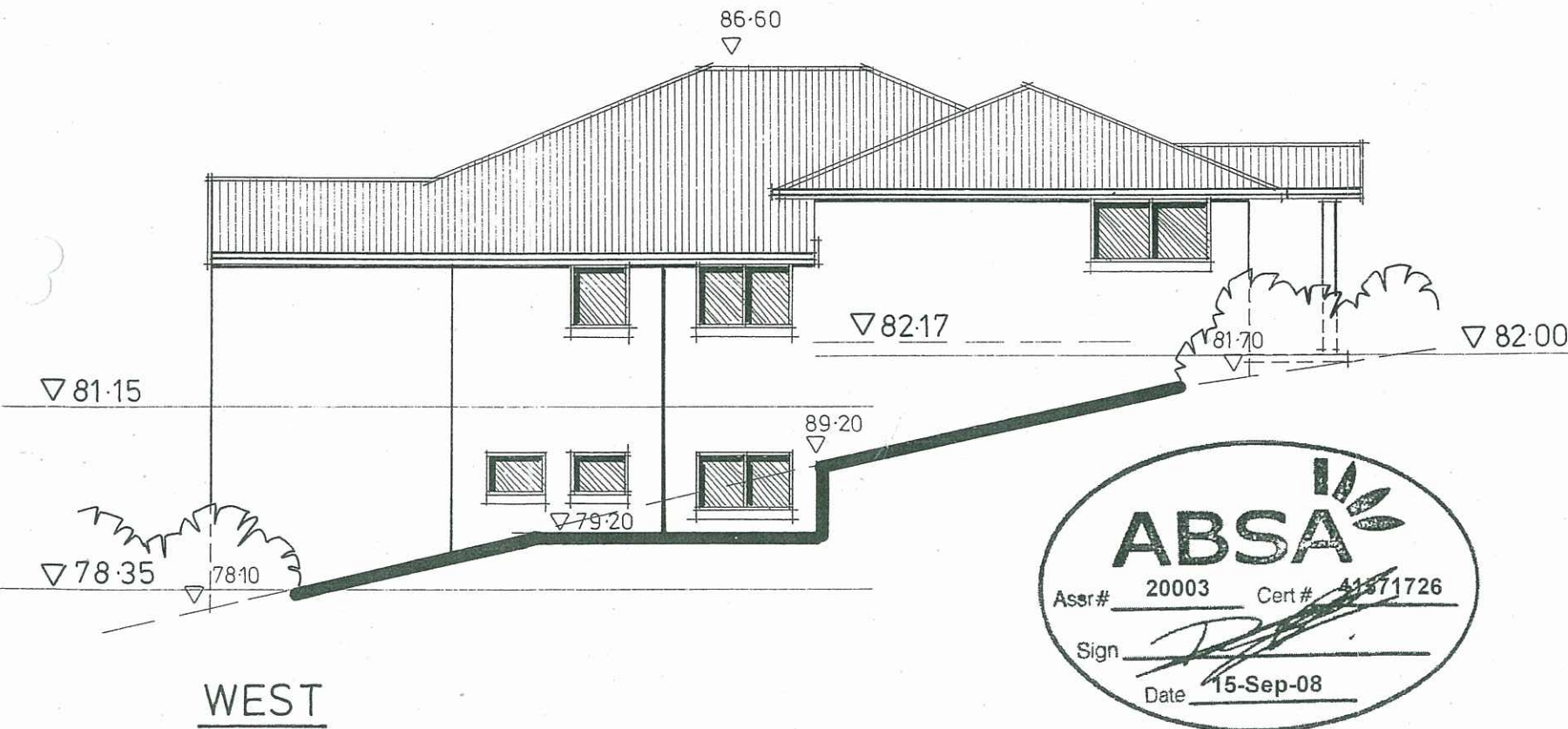
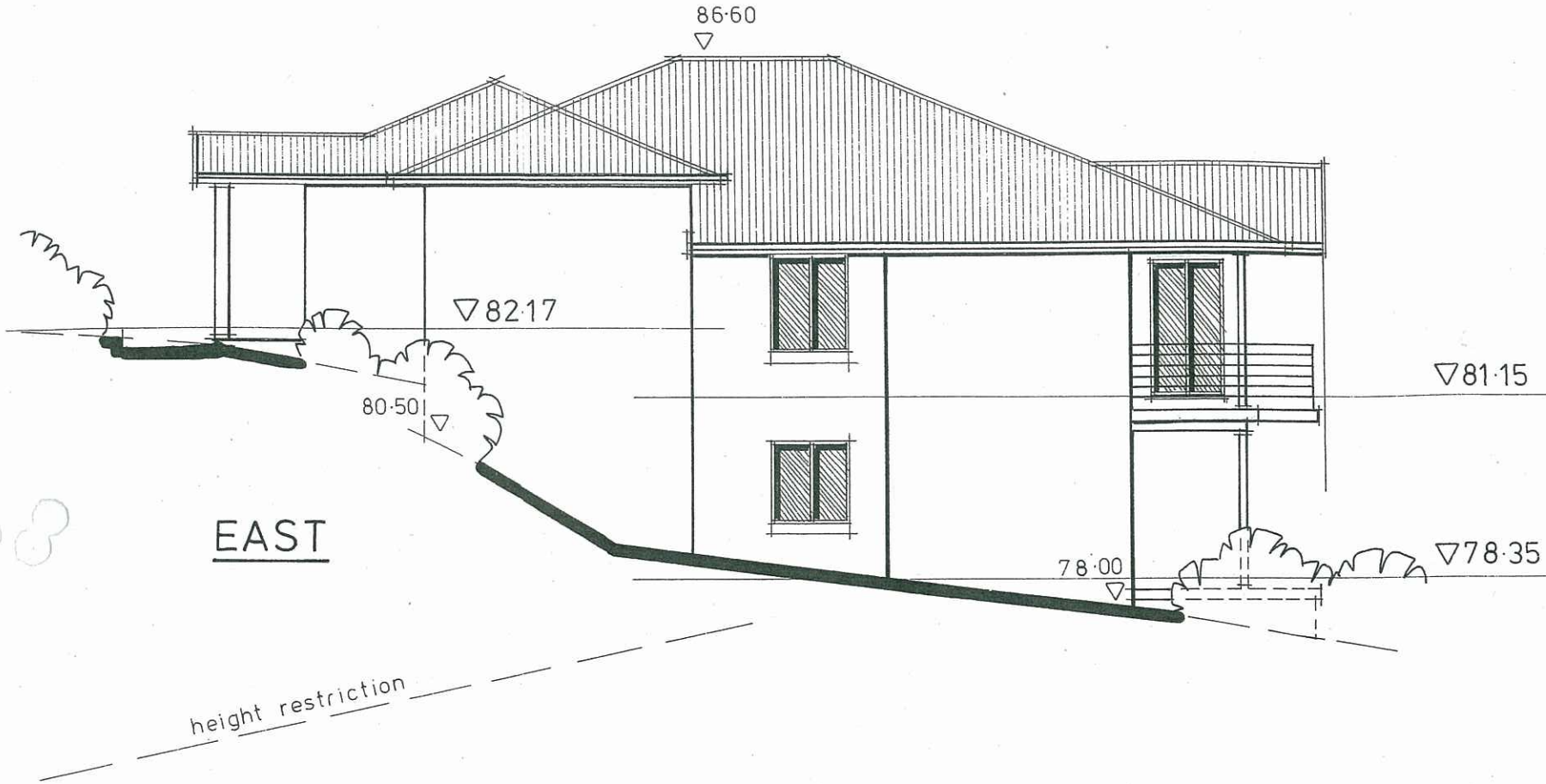
Location: PROPOSED LOT 102
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

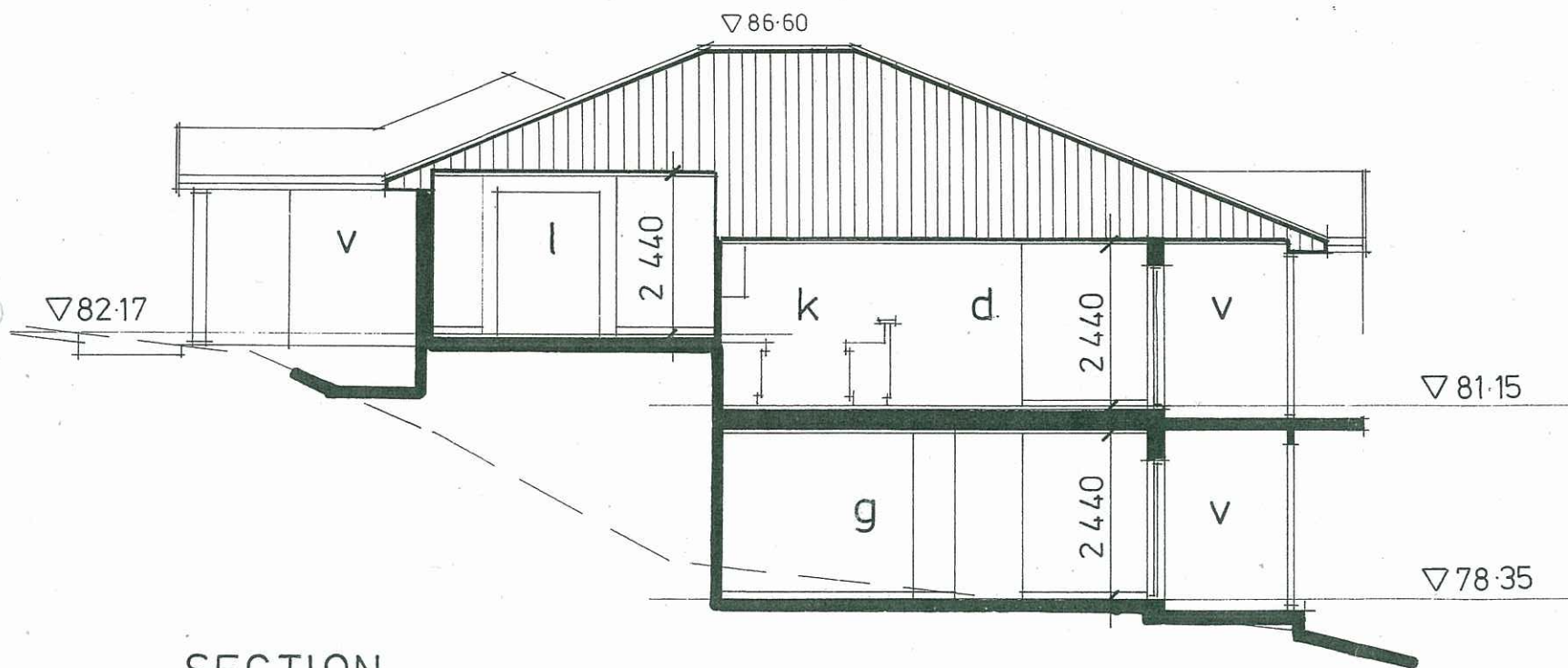
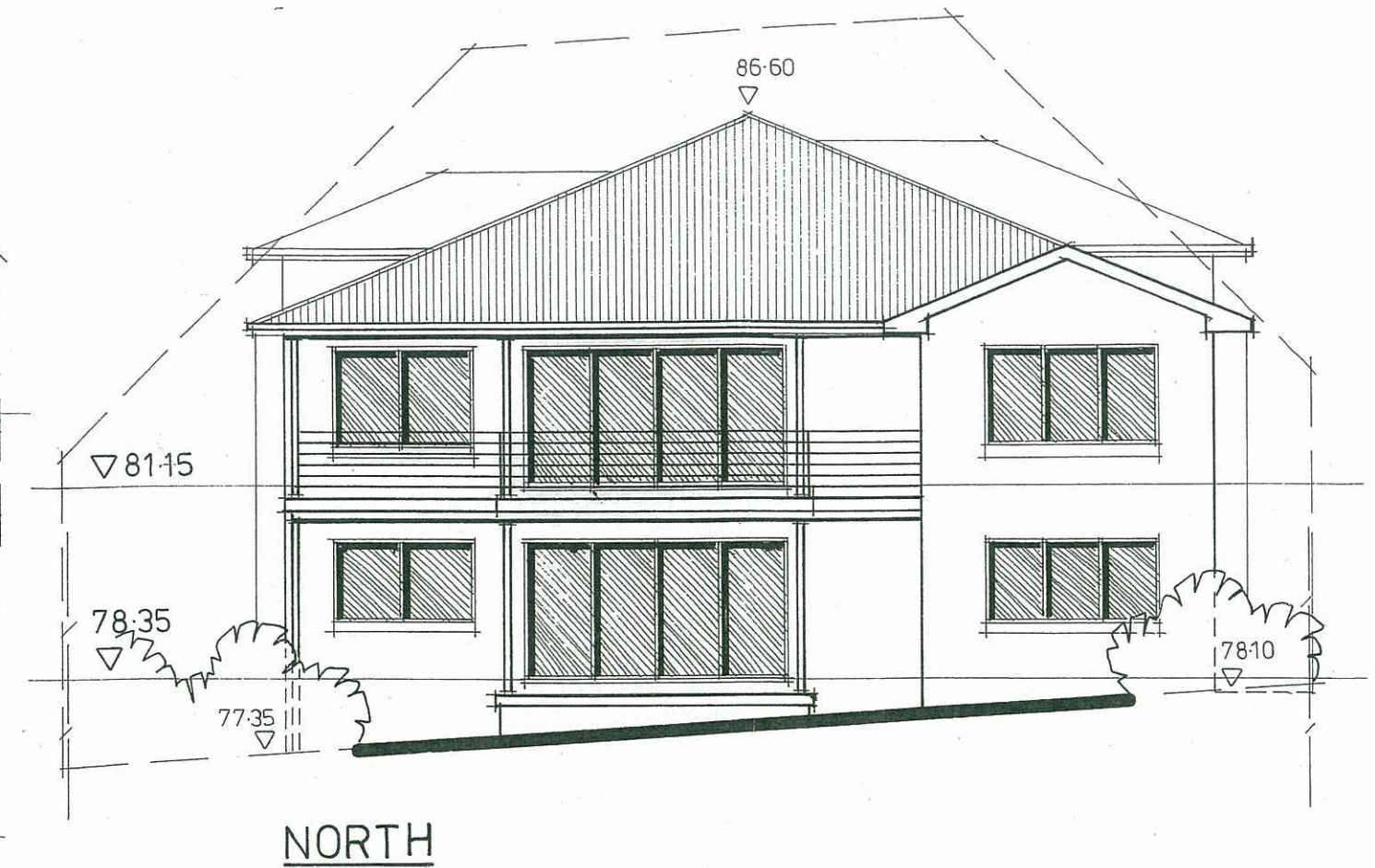
September, 2008

Anne Wand - Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 7 of 9



Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.



SECTION

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

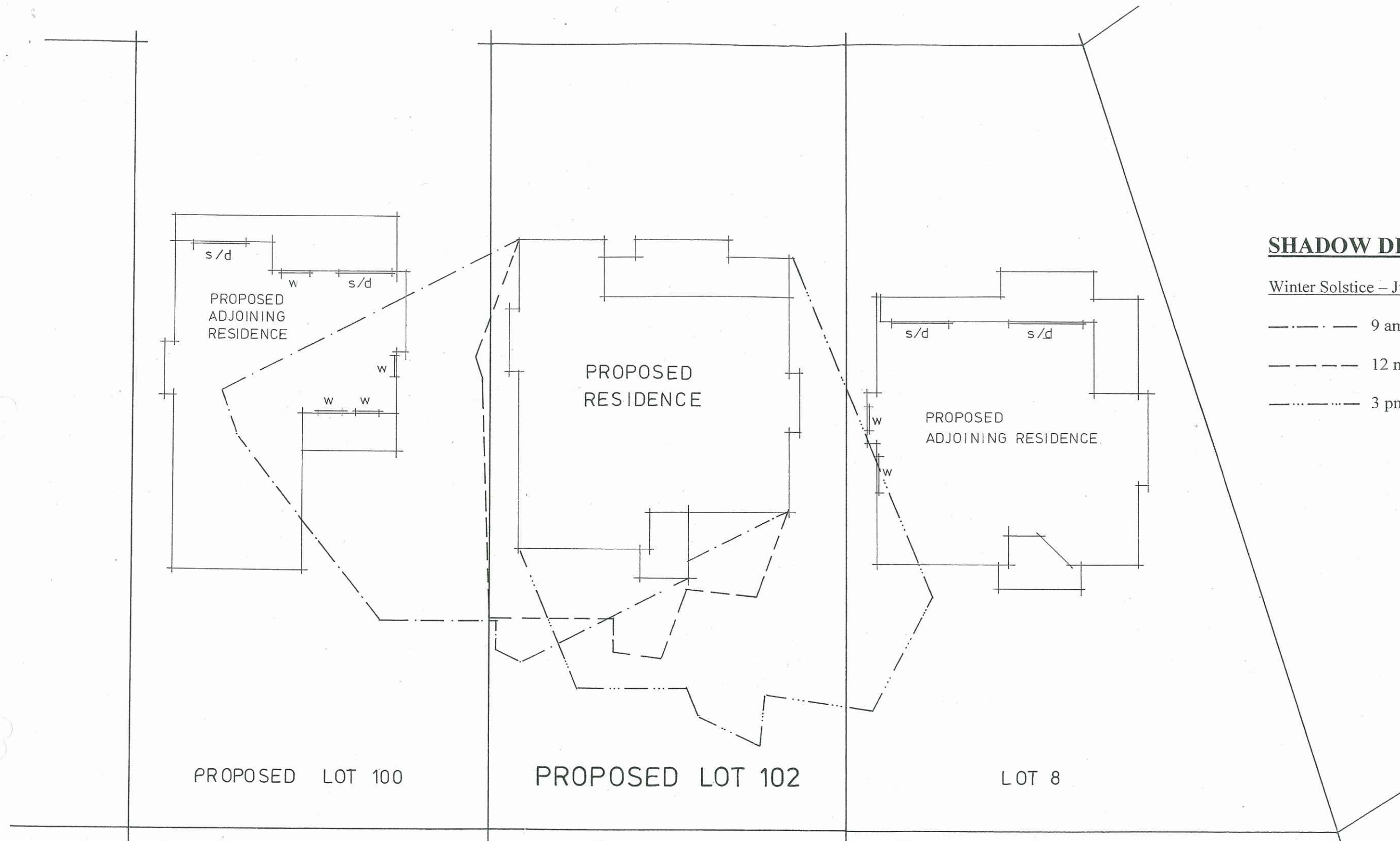
Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 8 of 9



SHADOW DIAGRAM LEGEND

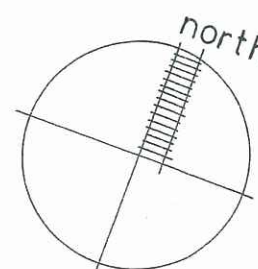
Winter Solstice – June 21

— · — · — 9 am

— — — — — 12 noon

— · · · · — 3 pm

SHADOW DIAGRAM 1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: **PROPOSED LOT 102**
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683
THE SCENIC ROAD, MACMASTERS BEACH.

Client: **J. PEETZ & K. BLACKBURN.**

September, 2008

Anne Wand – Architectural Design & Drafting
Ph / Fax 43 920866

Drawing No 9 of 9