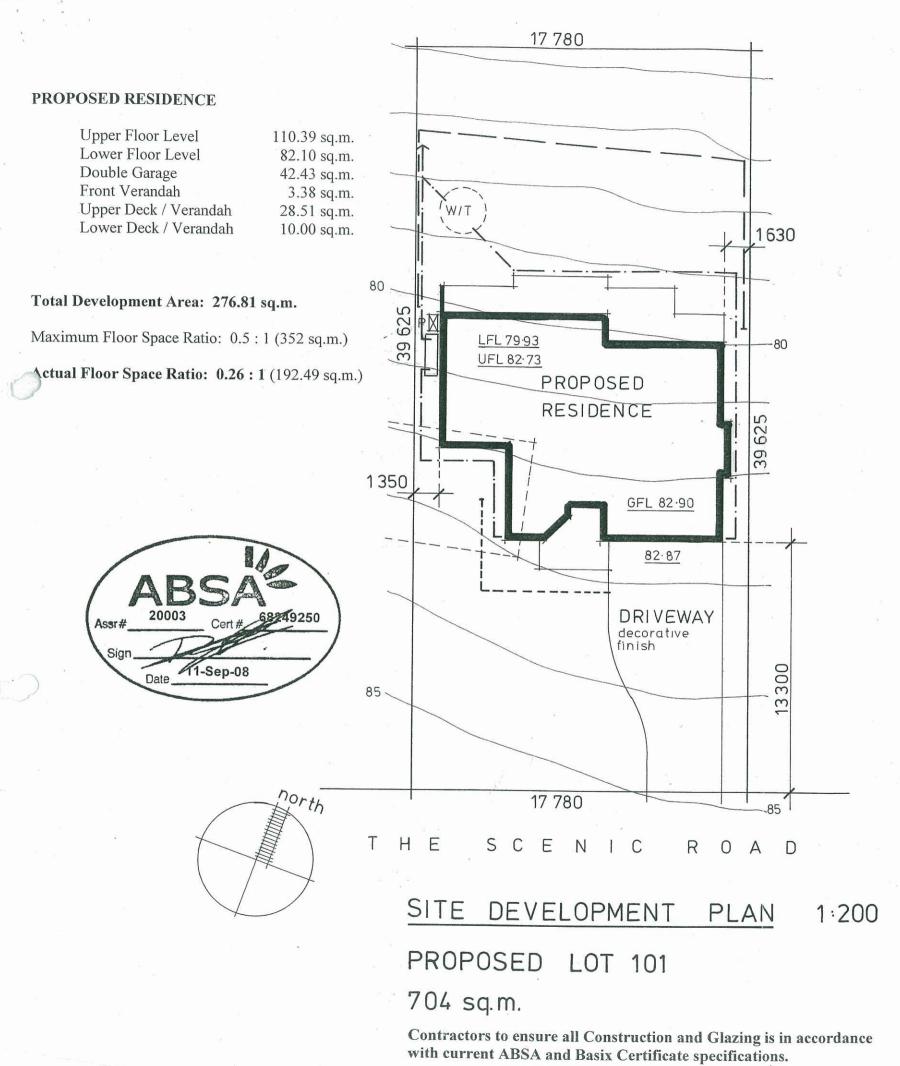




Streetscape View

Proposed Dwellings
Lots 7, 8, 10, 11, 100, 101 and 102
The Scenic road Macmasters Beach



	GENERA	LNOTES			
	Provide / inst selected by C	all rainwater tanks as required by ABSA Specification and as lient. Connect to water closets, laundry and external taps.			
		Minimum 3000 litre water storage tank as required by Basix			
	Insulation an Specification	nd construction to be in accordance with the ABSA / Basix prepared by Solar Smart of Swansea.			
	(W/T)	Minimum 10,000 litre static water supply tank			
	P	Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby			
	Protection A	ection requirements to be done in accordance with the Bushfire ssessment report prepared by Australian Bushfire Protection Limited of Somersby.			
		Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)			
		Siltation control fencing to Council requirements			
		Stormwater layout – diagrammatic only			
	Water tank ov nutrient contro	rerflows to be connected to the stormwater disposal system comprising of a ol facility and concrete head wall with inbuilt scour protection.			
	An on-site sev facility to be i	ver management system comprising of a holding tank and 'pump out' nstalled to Council requirements.			
Existing trees to be retained ./ protected during construction					
		Existing trees to be removed to allow for proposed residence			
	82.67	Finished ground levels			
	tt	Existing derelict structure to be removed			

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

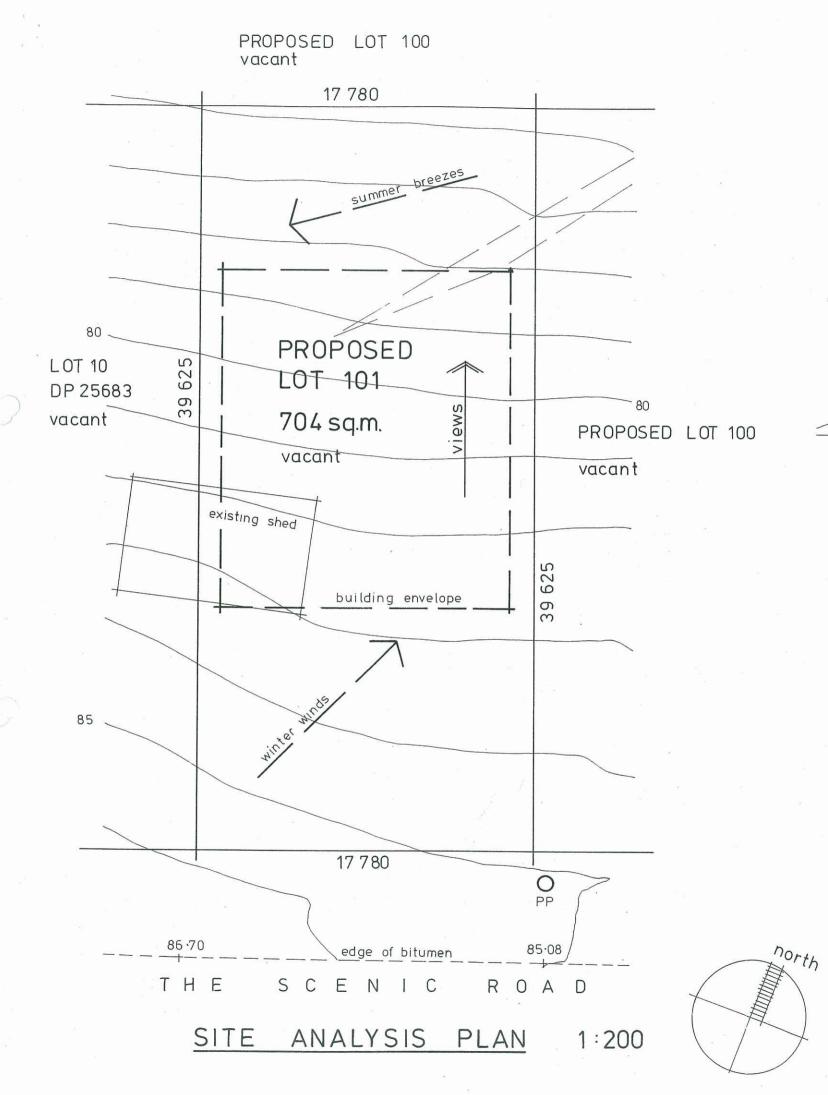
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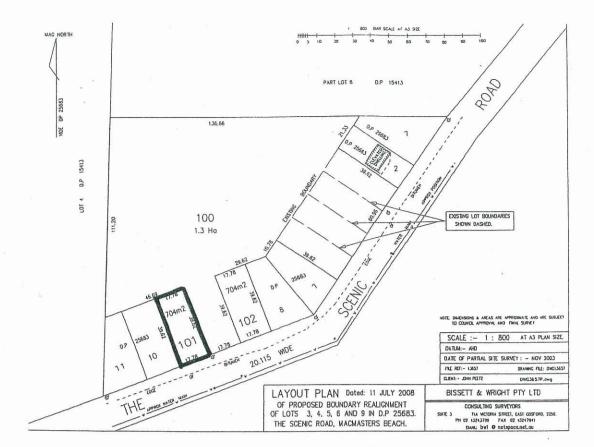
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 1 of 9





The site is currently vacant but has a derelict structure being within the site and the adjoining western property.

Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD – refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site

Prevailing summer breezes are from the north - east

Prevailing winter winds are from the south - west

Adjoining sites are currently vacant of residences but do have derelict structures

Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 190square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 35tar Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

Ni

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- · Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- · Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor# 2000	A TOTAL AND TOTAL STREET	THE STREET STREET	Issued: 11-Sep-08
specifications, these Specific	upon which the Certified Ass ations shall take precedence, the project, If alternate specif	If only one specification option fications are detailed for a built	Specifications cluded in these Specifications vary from other drawings or written on is detailed for a building element, that specification must apply to a ding element, the location and extent of alternate specifications must
Windows Product	ID Glass	Frame	U value SHGC Area M Detail
37m	Single clear	Aluminium	3mm Clr Uw<=7.727. SHGC 0.778+10%
5711	Origie deal	Aldillillilli	SHIRI CII UW~-1.721, SHGC 0.7704-1076
Skylights Product	ID Glass	Frame	U value SHGC Area M Detail
Window and skylight U and S the SHGC value is less than	HGC values, if specified, are 10% higher or lower, than the	according to NFRC. Alternate	s products or specifications may be used if their U value is lower, and roduct specified above.
External walls Construe	ction Insulation	Colour - Solar abs	orotanc Detail
Brick Veneer	R1.5	Light -SA < 0.475	
Internal walls Constru	ction Insulation	Detail	
Plasterboard on Studs	None		**************************************
Brick plastered	None		
Floors Construe	tion Insulation None	Covering Carpet	Detail
Concrete	None	Carpet Ceramic Tile	
Condete	None	Gerarnic Tile	
	tion Insulation	Detail	
Plasterboard	R3.0	As per detail on pl	The state of the s
Plasterboard	None	intermediate floor-	ceilings
Roof Construc	tion Insulation	Colour	Detail
Roofing Tiles	Foil (Sisalation)	Dark - SA > 0.7	
Window cover Interne	al (curtains)	Exte	rnal (awnings, shutters, etc)
None		None	
	(width - inc. gutters, heig		ndahs, Pergolas (type, description)
450 0 600mm	Overall	100	percent As per detail on plans
Someon and the second	Aurille 1977 - Village 1977		· ·
Overshadowing Ove	rshadowing structures	Over	shadowing trees
	Ventilation and Innine	Von	
Osimitation of nominal no	92 Z3	ng area open to entry:	Yes Ventilated skylights: No
Terrain category Sub	urban	cas separated by d	
	Si	if onen to heated areas: als to windows and doors	Yes Vented downlights: No Yes Wall and ceiling vents: No
Roof vanilation	103-103-103-103-103-103-103-103-103-103-		
Roof v lation v Cros ver latio s Sul porve ila n		haust fans without dam	rs: No
Roof vallation v Cros ver latio sy	682492	haust fans without dam e	rs: No
Roof v lation v Cros ver latio s Sul vorve la n		haust fans without dam e	rs: No
Roof v latior Cros de latio Sul porve la la 2	682492	haust fans without dam s	rs: No
Roof y lation Cros were latio	682492	haust fans without dam	rs: No
Roof v latior Cros et latio Sul porve lla la 2	682492	haust fans without dam s	rs: No
Roof y lation Cros rea latio 2 Sul Jorve Vie 40 0 20003	682492	haust fans without dam e	rs: No

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting

Drawing No 3 of 9

Ph / Fax 43 920866

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas

Trowel finish to all garage floors

Timber framed construction to upper floors / sheet flooring

Carpet / Sheet vinyl as selected

Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or Timber framed construction with selected boarding – all to be fire retardant treated 'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry porches as required / selected – all to be fire retardant treated Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS -LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire—retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence. Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion—resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

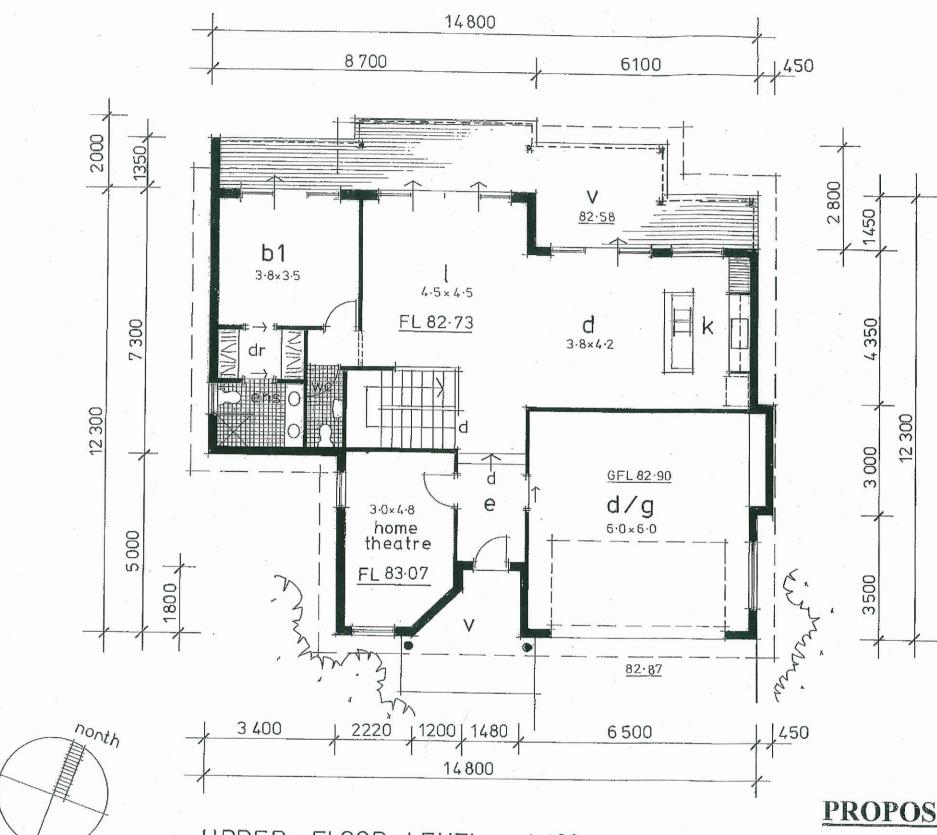
THE SCENIC ROAD, MAGMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 4 of 9





FLOOR LEVEL UPPER 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

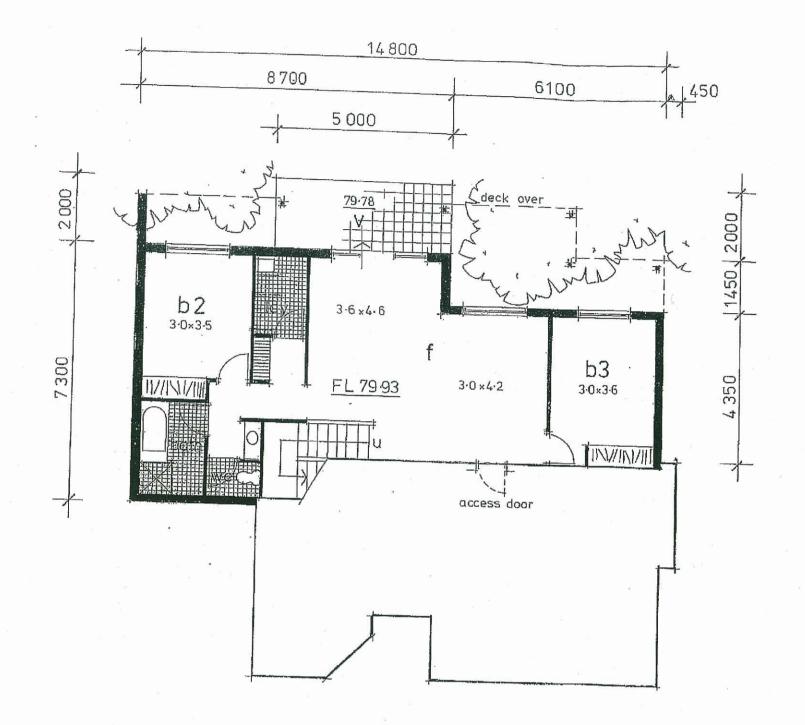
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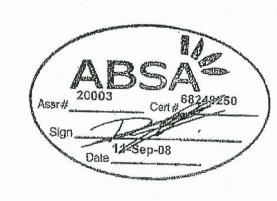
Client: J. PEETZ & K. BLACKBURN.

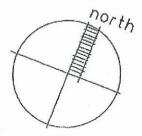
September, 2008

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Drawing No 5 of 9 A







1

LOWER FLOOR LEVEL

1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101 .

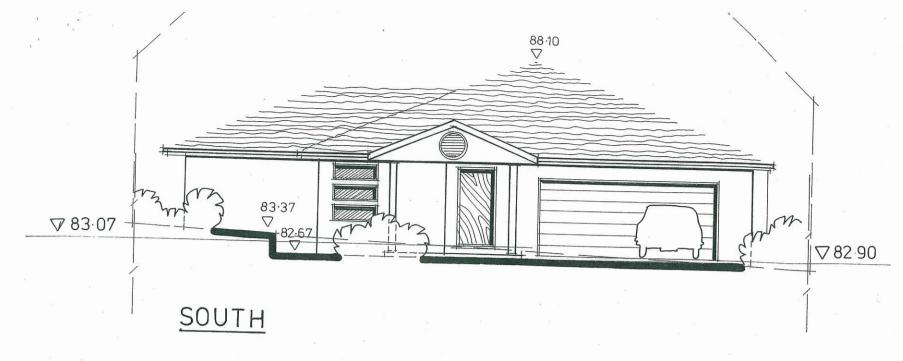
in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683 THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 6 of 9 A





ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

W1 W2 W3 W4 W5 W6 W7	Location Study Garage Kitchen Ensuite Study Bedroom 4 Bedroom 3	Height 400 900 1500 900 1800 1500 1200	Width 1200 1800 1500 900 900 1500 1800	Comment 3 fixed panels S/W S/W A/W - O/G D/H S/W S/W
W8	Bedroom 2	1200	1800 1800	S/W S/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Widt	ŀ
Dining	2700	
Lounge	3600	
Bedroom 1	2700	
Family	2700	

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Areas.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

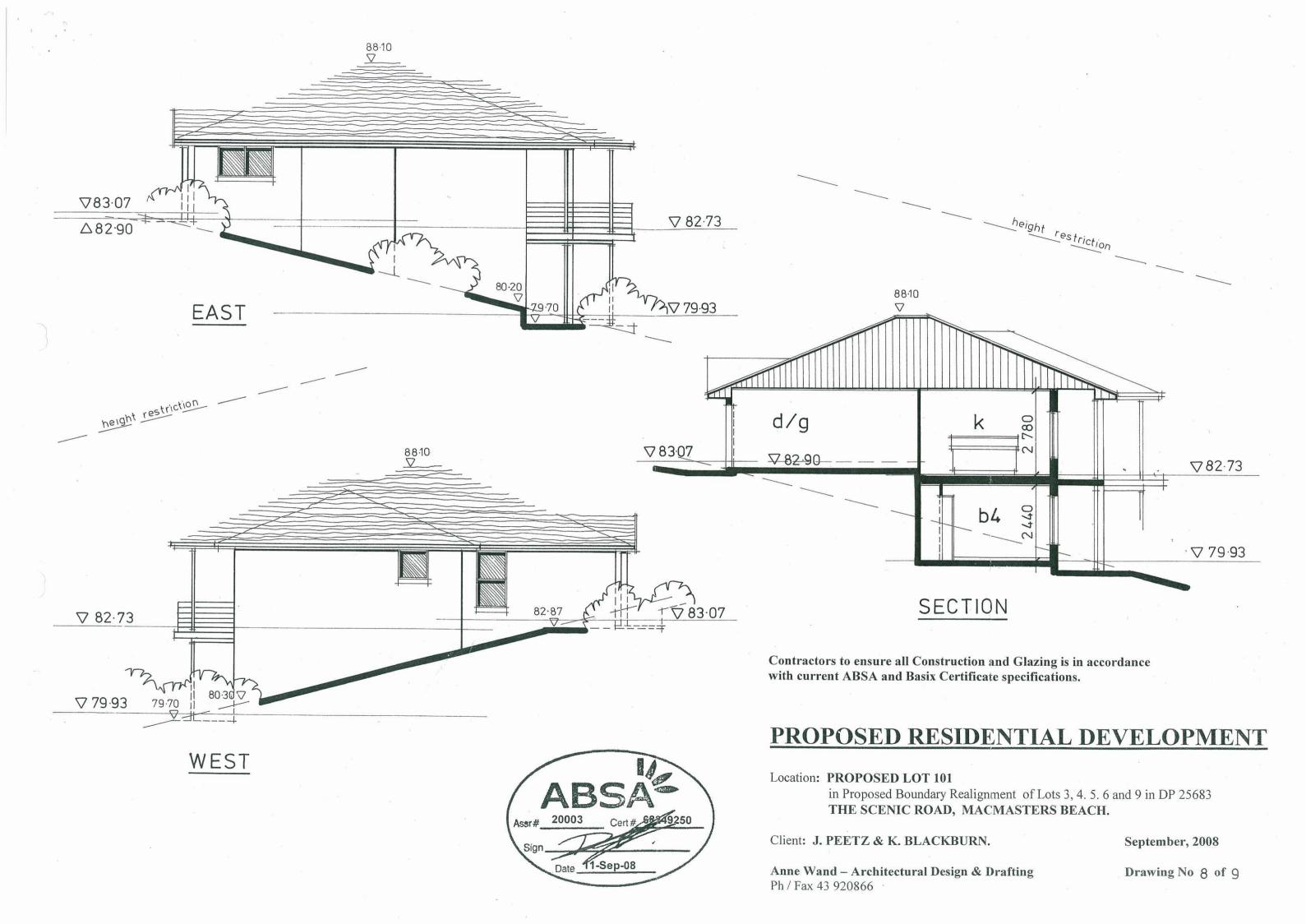
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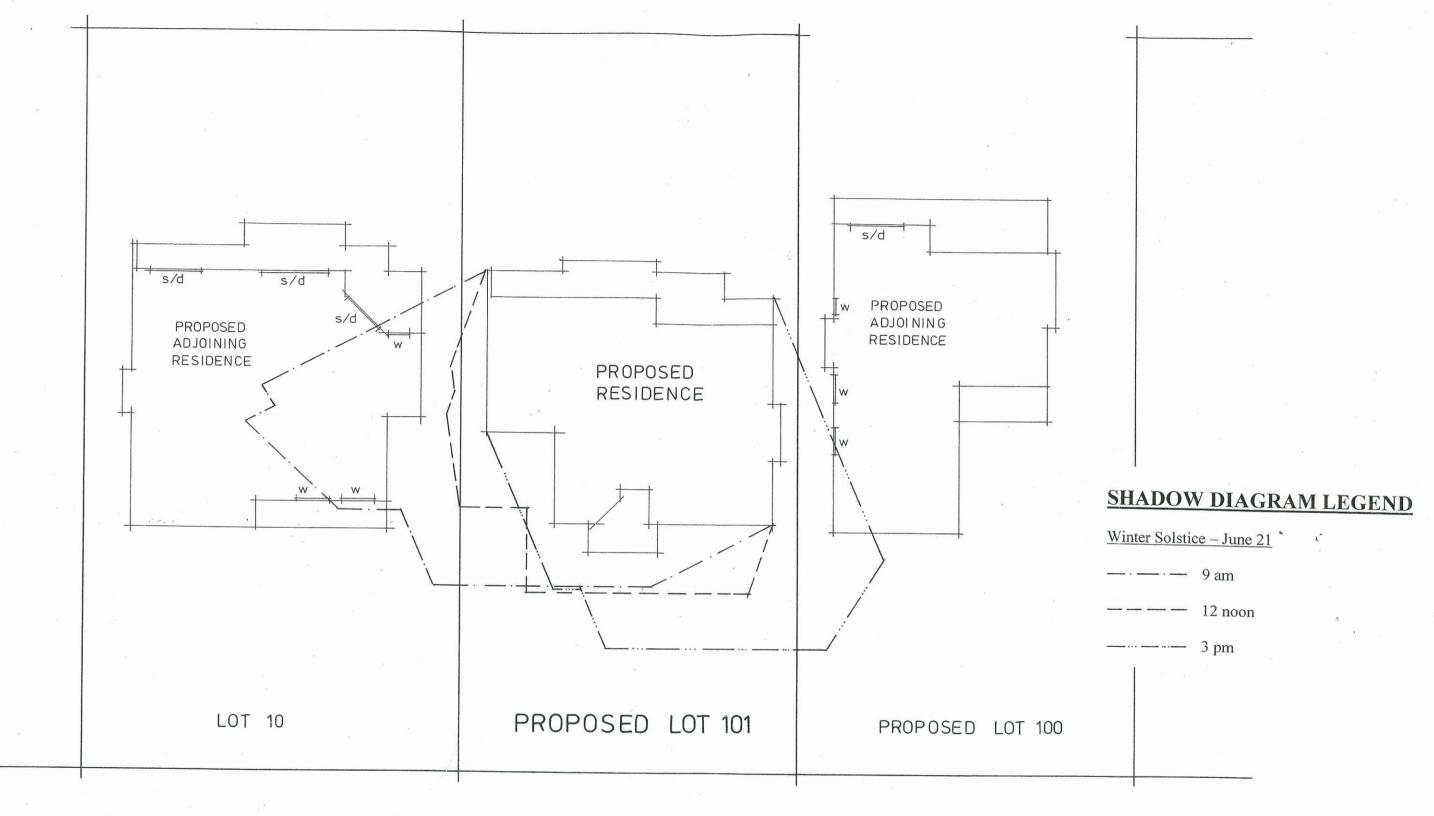
September, 2008

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Drawing No 7 of 9

Ph / Fax 43 920866

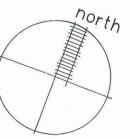




THE SCENIC ROAD

SHADOW DIAGRAM

1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 101

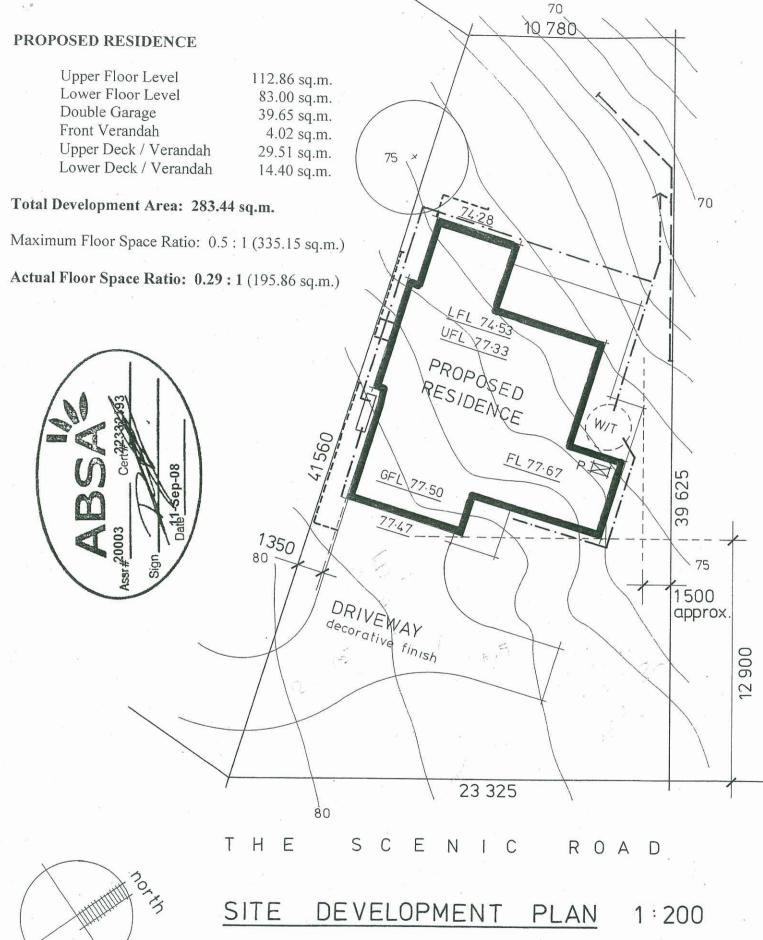
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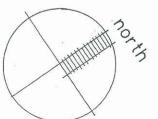
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 9 of 9





LOT 7 in DP 25683 670 · 3 sq.m.

GENERAL NOTES

Provide / install rainwater tanks as required by ABSA Specification and as selected by Client. Connect to water closets, laundry and external taps.									
	Minimum 3000 litre water storage tank as required by Basix								
Insulation an Specification	nd construction to be in accordance with the ABSA / Basix prepared by Solar Smart of Swansea.								
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An on-site sev facility to be in	ver management system comprising of a holding tank and 'pump out' nstalled to Council requirements.								
, x	Existing trees to be retained ./ protected during construction								
	Existing trees to be removed to allow for proposed residence								
77.47	Finished ground levels								
† <u>†</u>	Existing derelict structure to be removed								
7									

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

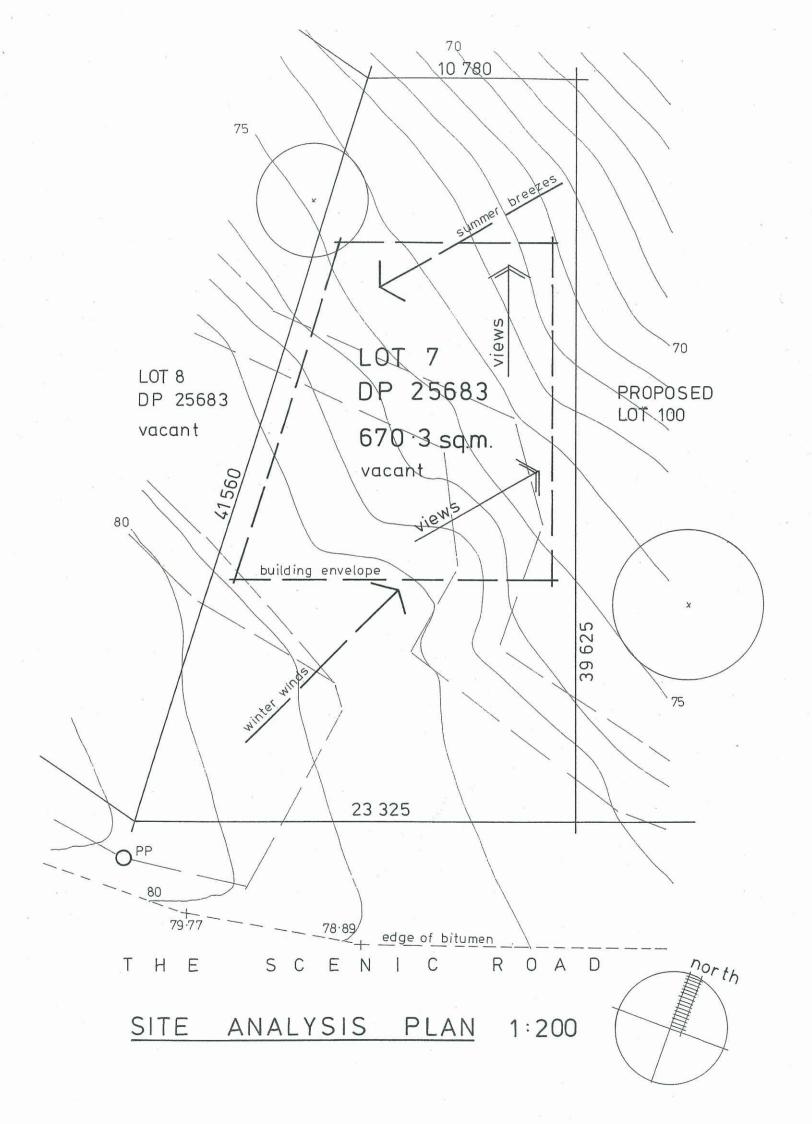
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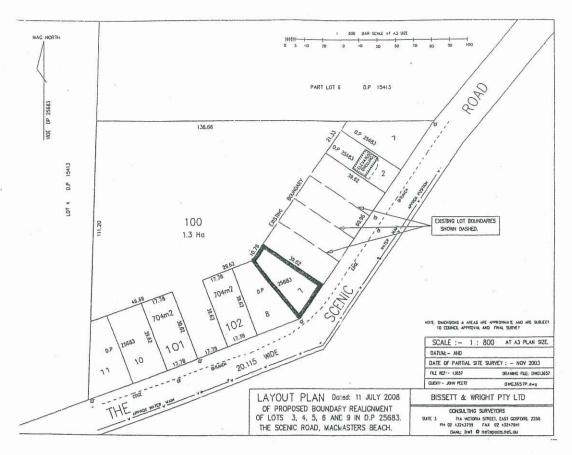
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 1 of 9





The site is currently vacant
Site has fall to the north eastern corner
Contours at 1 metre intervals to AHD – refer Survey plan
Site is not subject to mines subsidence
Site is not subject to flooding
Site is not subject to easements / right of ways / restrictions / covenants
Site is not subject to natural watercourses or land features
Orientation of site to true north is shown
Views are to the northern area of the site
Existing trees on the adjoining sites have been shown
Prevailing summer breezes are from the north - east
Prevailing winter winds are from the south - west
Adjoining sites are currently vacant of residences
Water and electricity located in The Scenic Road
Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 2 of 9

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- 4Star Toilets to be installed.

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. HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

Ni

VENTILATION / ELECTRICAL

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- Ducted fan, manual switch to Bathroom

LIGHTING

- · Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

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	# 20003		cate # 223321			11-Sep-08	
specifications, the	ese Specifications element for the pro	which the Certified Ass shall take precedence	 If only one specification of the second of th	etails included in the on option is detaile	hese Specifications ed for a building ele	vary from other drawing ment, that specification n i extent of alternate spec	nust apply I
Windows	Product ID	Glass	Frame	l	J value SHGC	Area M Detail	
44m	(Single clear	Aluminium	3m	m Clr Uw<=7.72	7, SHGC 0.778+109	%
Skylights	Product ID	Glass	Frame	L	J value SHGC	Area M Detail	
Window and skyl	light U and SHGC v	values, if specified, are	e according to NFRC. Al	Iternate products (or specifications ma	ly be used if their U value	s is lower, a
the SHGC value	is jess than 10% hi	igher or lower, than the	e U and SHGC values o	of the product spec	cified above,		
Brick Veneer	Is Construction	Insulation R1.5	Light -SA <0	ar absorptanc	Detail		
DIICK VEHEEL		(1,5	Light -SA <u< td=""><td>.475</td><td></td><td></td><td></td></u<>	.475			
Internal walls	s Construction	Insulation	Detail				
Plasterboard o Brick plastered		Vone Vone					
Floors	Construction	Insulation	Covering -		Detail .		
Concrete	N	lone	Carpet				manus a service
Concrete	<u>N</u>	Vone	Ceramic Tile				
Ceilings	Construction	Insulation	Detail .	the section of	,		
Plasterboard	R	R3.0	As per detail	on plans			
Plasterboard	N	lone	intermediate	floor-ceilings			
Roof	Construction	Insulation	Colour		Detail .	1. 1. 57	-
Roofing Tiles	F	oil (Sisalation)	Dark - SA > (- Maria - Mari	7.
	er Internal (cur	rtains)		Evlemal /aumi	ngs, shutters, etc	1	
Window cove	11710111-1001	14.10/		None	igo, anutiero, ett	4	
Window cove							
None Fixed shadin	-	h - inc. gutters, heig	ght above window	Verandahs. Pe	rgolas (lype, de		
None	g Eaves (width		ght above window		The state of the s	scription)	
None Fixed shadin 450 0	600mm Over	rall	ght above window	Verandahs. Pe	The state of the s		
None Fixed shadin	600mm Over		ght above window	Verandahs. Pe			
None Fixed shadin 450 0 Overshadow	600mm Over	rall lowing structures	ght above window	Verandahs, Pe 100 percent			
None Fixed shadin 450 0 Overshadow	600mm Over	rall lowing structures	ght above window	Verandahs, Pe 100 percent Overshadowing	g trées	s per detail on plans	
None Fixed shadin 450 0 Overshadow	600mm Over	rall lowing structures	ght above window	Verandahs. Pe 100 percent Overshadowing	g trées Vent	is per detail on plans	No
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PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas

Trowel finish to all garage floors

Timber framed construction to upper floors / sheet flooring

Carpet / Sheet vinyl as selected

Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS - LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire—retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence. Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion–resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 - refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

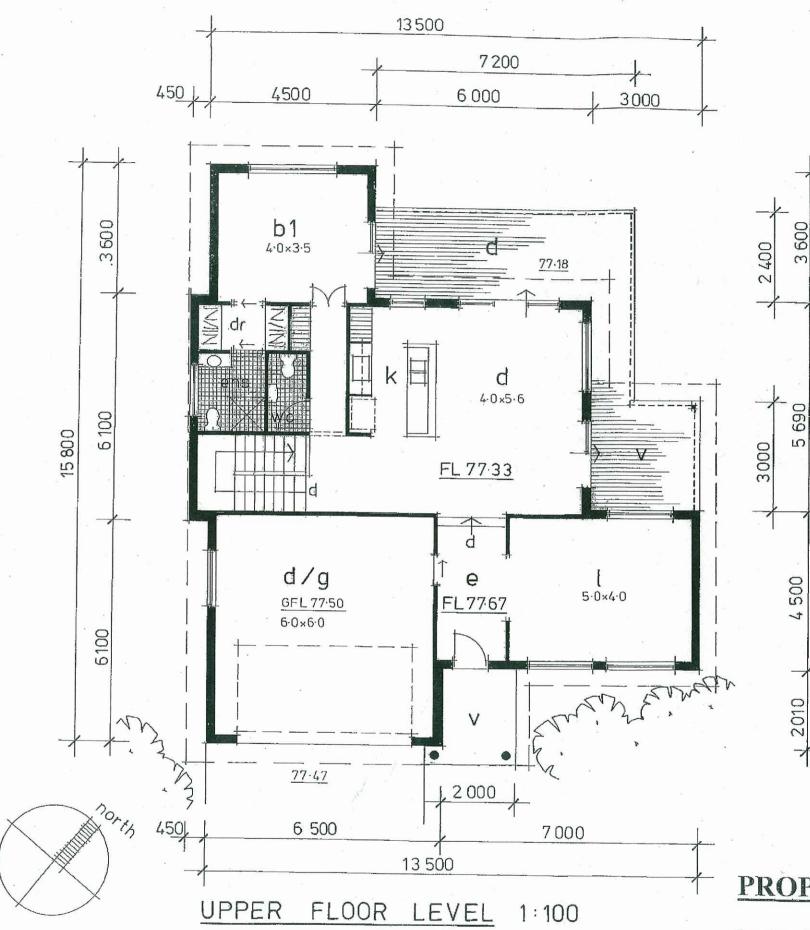
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 4 of 9



Contractors to ensure all Construction and Glazing to be in accordance

with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

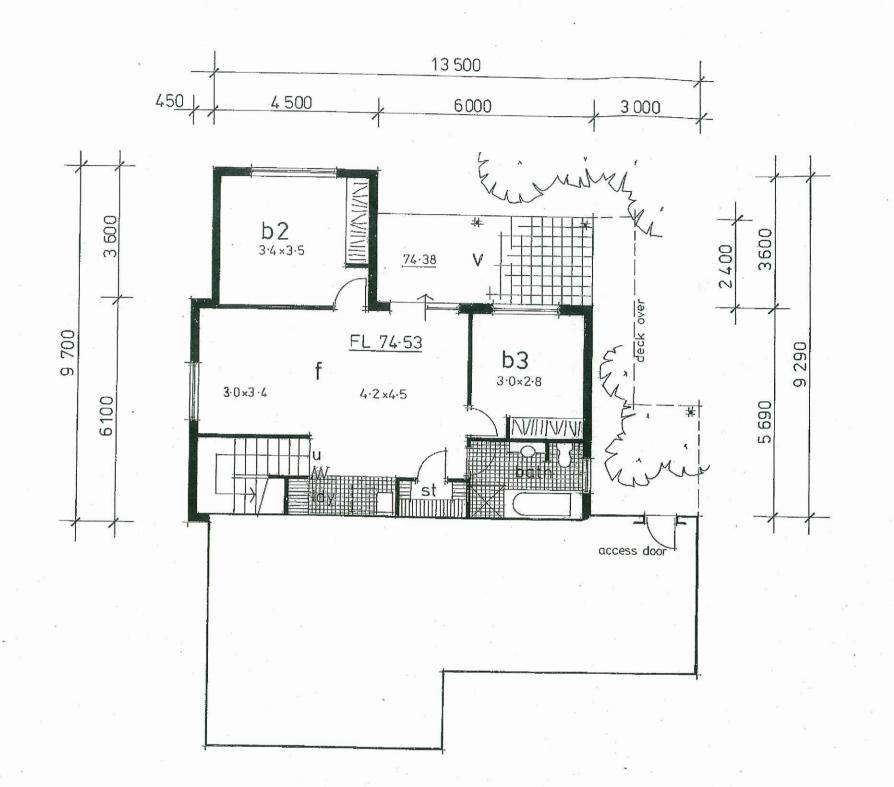
Location: LOT 7 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

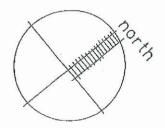
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 5 of 7







LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

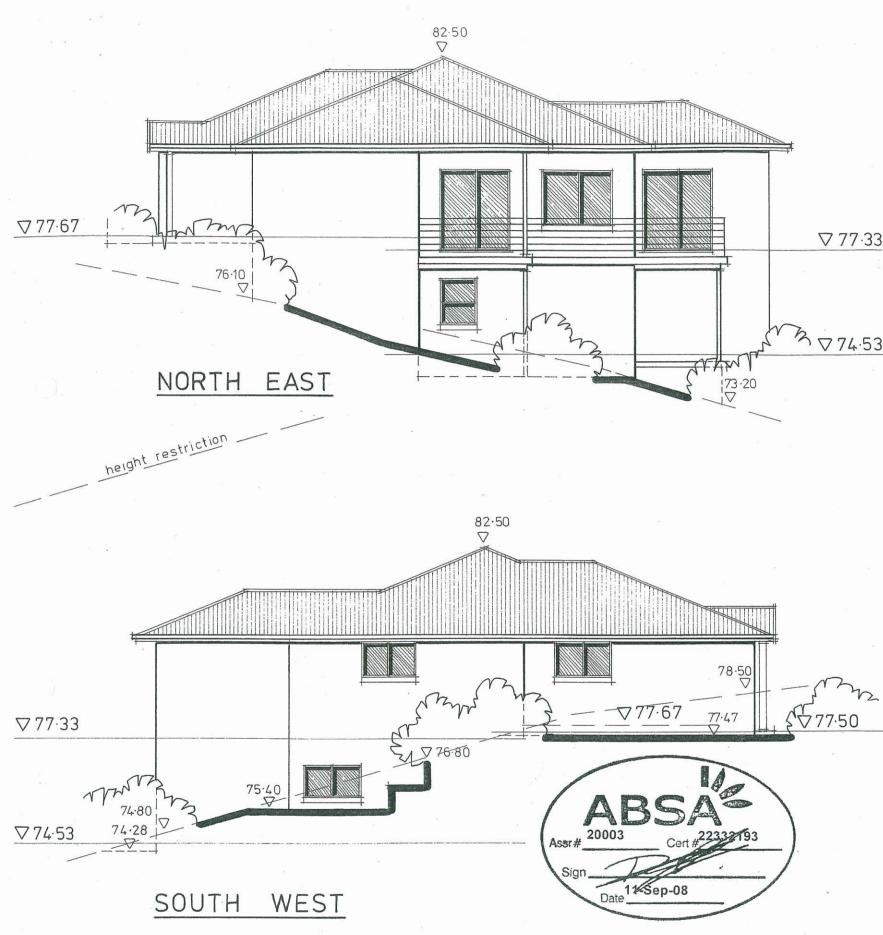
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 6 of 9A



Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

		Location	Height	Width	Comment
3 W	1	Lounge	1500	1800	S/W
$\frac{3}{2}$ W	2	Lounge	1500	1800	S/W
W	3	Lounge	1500	1800	s/W
W	4	Dining	1500	1800	S/W
W	5	Kitchen	1500	900	A/W
W	6	Bedroom 1	1200	2400	S/W
3 W	7	Ensuite	900	1500	S/W - O/G
W	8	Garage	900	1500	S/W
W	9	Bathroom	1200	900	D/H - O/G
W	10	Bedroom 3	1200	1800	S/W
W	11	Bedroom 2	1200	2400	S/W
W	12	Bedroom 4	900	1500	S/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Dining	1800
Dining	2700
Bedroom 1	1800
Family	1800

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Areas.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

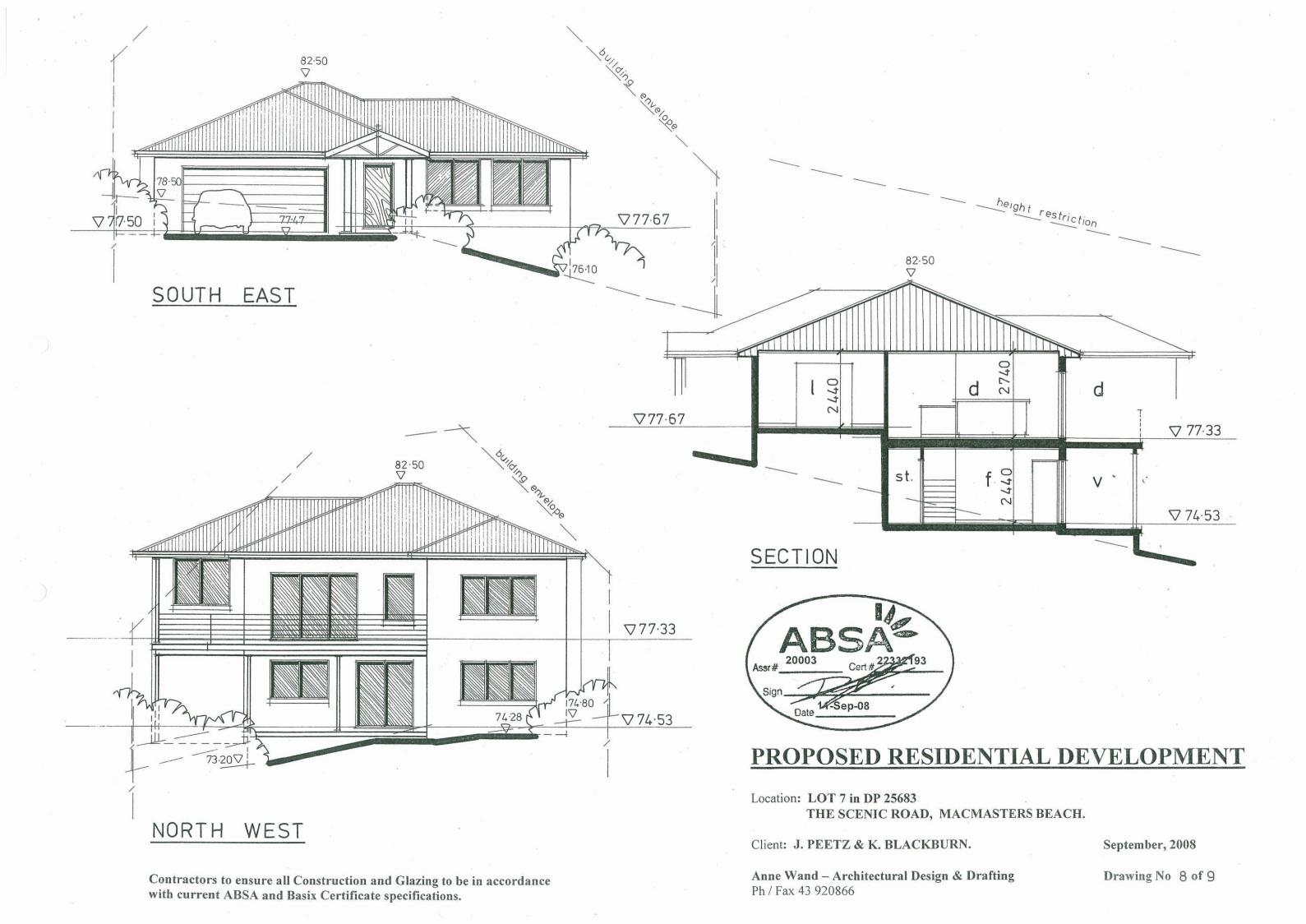
Client: J. PEETZ & K. BLACKBURN.

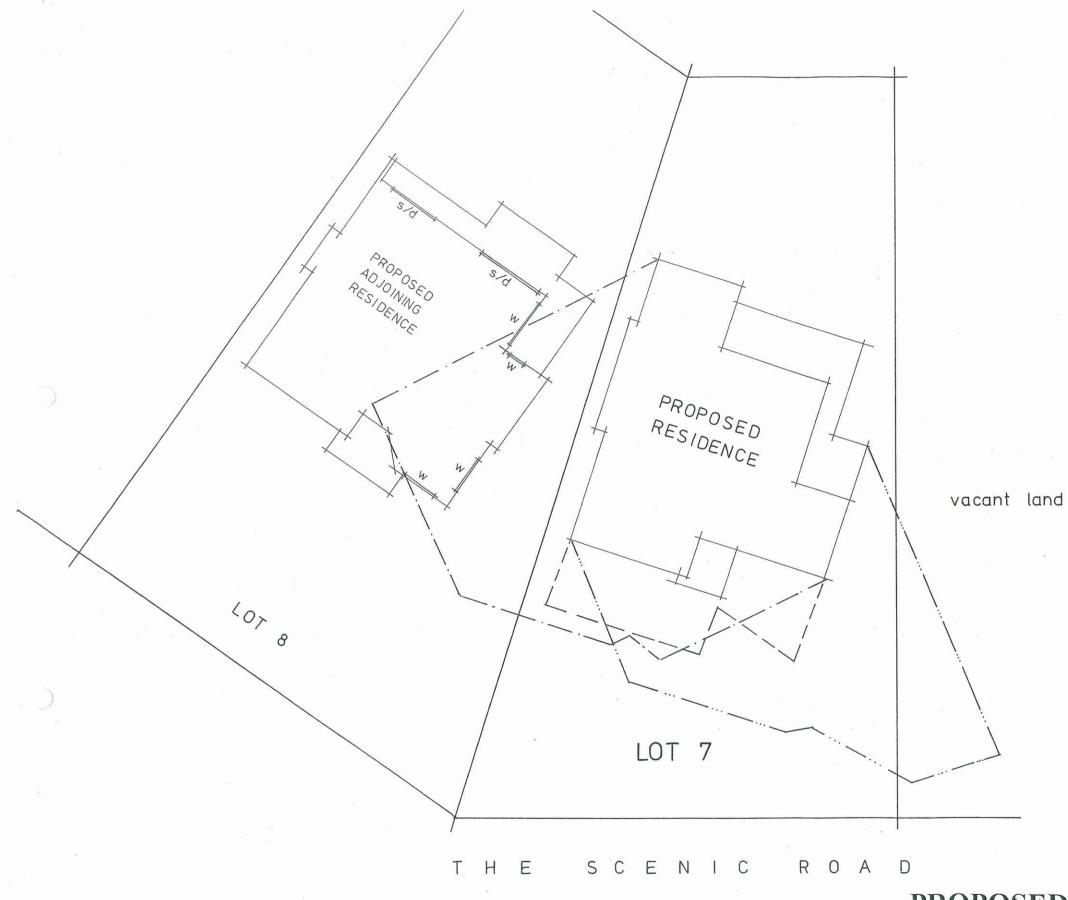
September, 2008

Anne Wand – Architectural Design & Drafting

Drawing No 7 of 9

Ph / Fax 43 920866





SHADOW DIAGRAM LEGEND

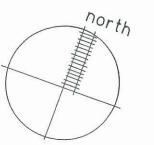
Winter Solstice – June 21

---- 9 am

--- 12 noon

---- 3 pm

SHADOW DIAGRAM



1:200

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 7 in DP 25683

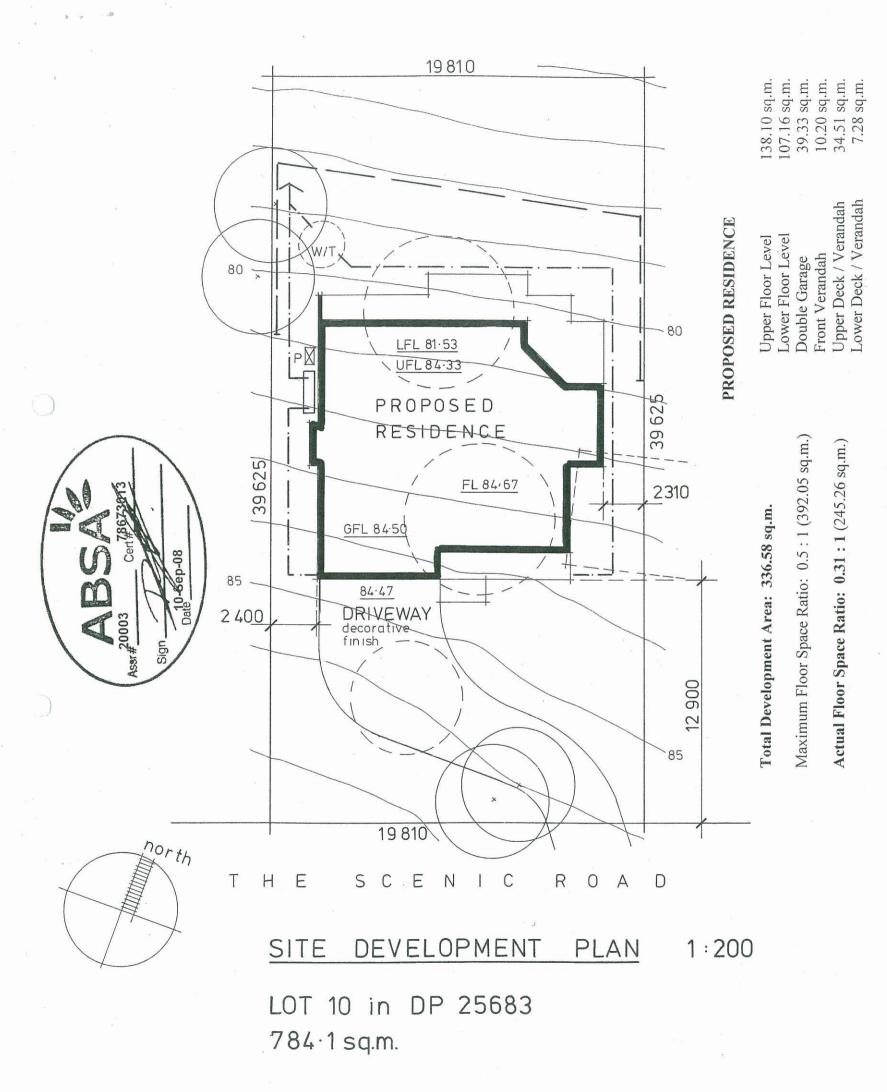
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 9 of 9



GENERAL NOTES

	all rainwater tanks as required by ABSA Specification and as lient. Connect to water closets, laundry and external taps.
	Minimum 3000 litre water storage tank as required by Basix
	nd construction to be in accordance with the ABSA / Basix prepared by Solar Smart of Swansea.
(W/T)	Minimum 10,000 litre static water supply tank
P⊠	Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby
Protection A	ection requirements to be done in accordance with the Bushfire ssessment report prepared by Australian Bushfire Protection Limited of Somersby.
	Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)
	Siltation control fencing to Council requirements
	Stormwater layout – diagrammatic only
	verflows to be connected to the stormwater disposal system comprising of ol facility and concrete head wall with inbuilt scour protection.
	wer management system comprising of a holding tank and 'pump out' installed to Council requirements.
,	Existing trees to be retained ./ protected during construction
	Existing trees to be removed to allow for proposed residence
84.47	Finished ground levels
<u> </u>	Existing derelict structure to be removed

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

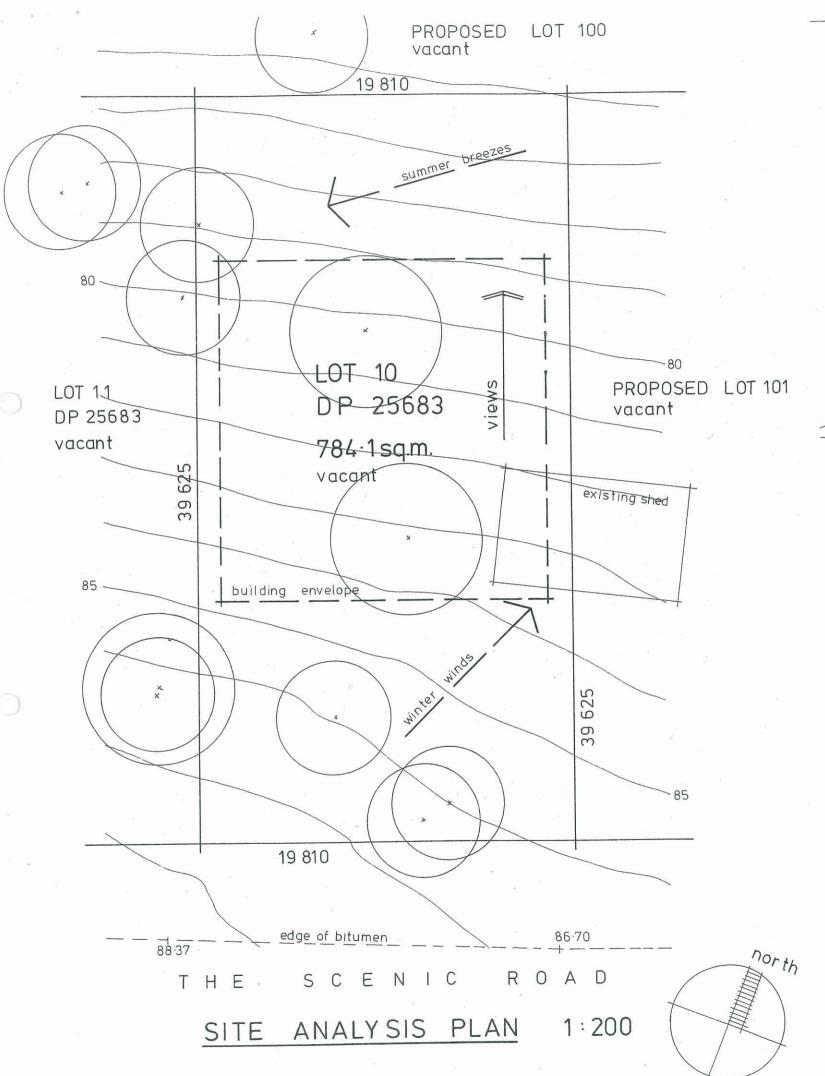
Client: J. PEETZ & K. BLACKBURN.

September, 2008

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Drawing No 1 of 9

67/5459





The site is currently vacant but has a derelict structure being within the site and the adjoining eastern property.

Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD – refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site

Prevailing summer breezes are from the north - east

Prevailing winter winds are from the south - west

The adjoining eastern site is currently vacant of a residence but does have a derelict structure

The adjoining western site is currently vacant

Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting

Drawing No 2 of 9

Ph / Fax 43 920866

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 225square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 35tar Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

· HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

Ni

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- · Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	£ 20003	Certificate #	786730	013	Issue	d: 10-Sep-	08	
		Thermal F						
		hich he Certified Assessmen						
pecifications, thes istances of that e	se Specifications s lement for the croi	hall take precedence. If only ect. It alternate specifications	one specificati s are detailed f	ion option is del or a building ele	tailed for a building ement, the location	element, that spe and extent of alte	cilication must appl emate specifications	y lo
e detailed below i	and / or clearly ind	icated on referenced docume	ents,					
Windows	Product ID	Glass	Frame		U value SHG	C Area M	Detail	_
18m	Si	ngle clear	Aluminium		3mm Clr Uw<=7	727. SHGC 0.	778+-10%	_
								_
Skylights	Product ID	Glass	Frame		U value SHG	C Area M	Detail	
Window and skylig	ht U and SHGC va	lues if specified, are accord	ing to NFRC. A	Alternate produc	cts or specifications	may be used if the	neir U value is lower	r. an
he SHGC value is External walls	less than 10% hig	her or lower, than the U and Insulation	SHGC values	of the product s lar absorptan	specified above.			
Brick Veneer		1.5	Light -SA <		d Detair			
			-311.	-,,,,,,				
Internal walls	-	Insulation	Detail		4.		· ·	-
lasterboard on		one						
rick plastered	No	one						
Floors	Construction	Insulation	Covering		Detail			Š.
oncrete		ne	Carpet					
Concrete	No	ne	Ceramic Tile	e				
Ceilings	Construction	Insulation	Detail .					-
Plasterboard	R3		As per detai	il on plans				-
Plasterboard	No	ine		floor-ceiling	s			-
Roof .	Construction	Insulation	Colour		Detail			-
Roofing Tiles	Fo	il (Sisalation)	Dark - SA >	0.7				
Window cover	Internal (curt	ains)		External (av	wnings, shutters,	etc)		-
lone				None			300 TO 1000 TO	
Fixed shading	Eaves (width	- inc. gutters, height abo	ve window	Verandahs,	Pergolas (type,	description)		
50 0	600mm Overa		,	100 percent	L	As per detail	on plans	
				··• · · ·	·			
Overshadowin	g Overshado	wing structures		Overshadov	wing trees			
- Nichard Control								
	xposure, Ventil	atio no filtration						
Prientation of no	minal north 0	ng are	a open to en	***		entilated skylig		10
in ca	Duite						ued gas heate N	
ook enti-	DHATTER OF	Emmand .				ented downligi		lo
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20003	Cer	1#/823043	/					
	20		/					
L	all the		/					

PROPOSED RESIDENTIAL DEVELOPMENT

16-Sep-08

Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS -LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with

AS 3959-1999 - 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire—retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence. Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion—resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

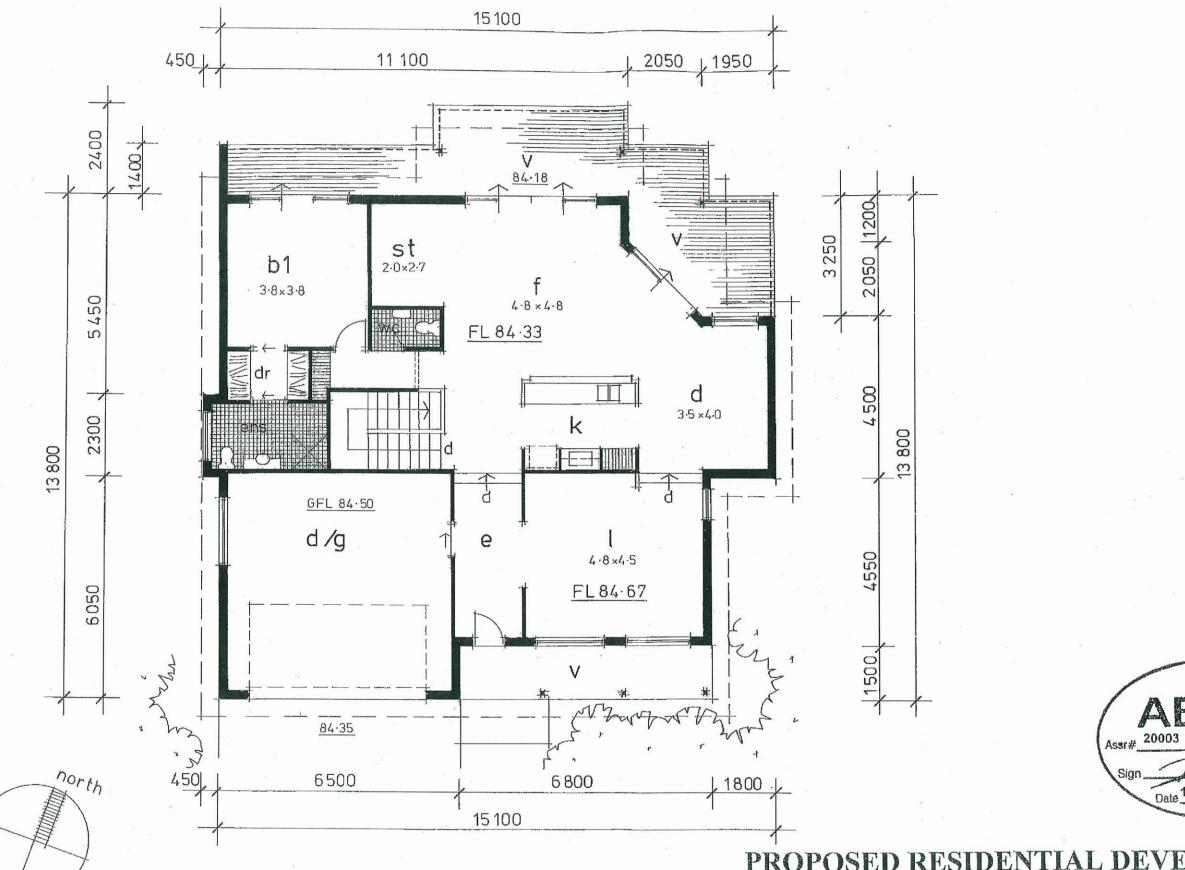
Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 4 of 9



UPPER

FLOOR

with current ABSA and Basix Certificate specifications.

LEVEL

Contractors to ensure all Construction and Glazing to be in accordance

1:100

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

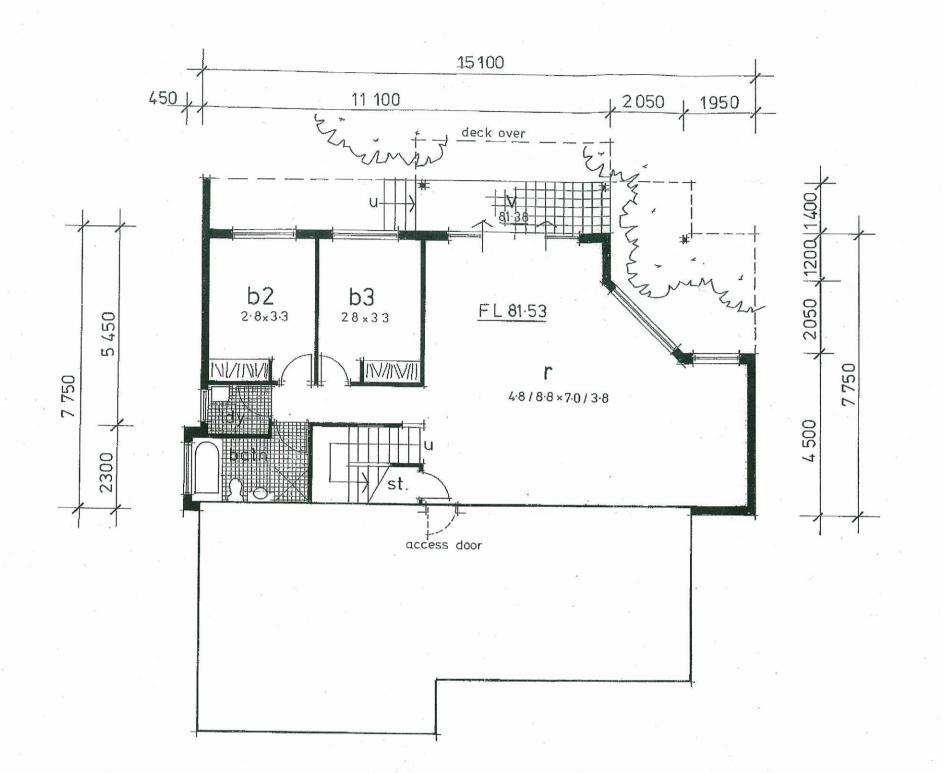
Client: J. PEETZ & K. BLACKBURN.

September, 2008

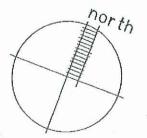
Date 16-Sep-08

Anne Wand - Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 5 of 9







LOWER FLOOR LEVEL

1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683

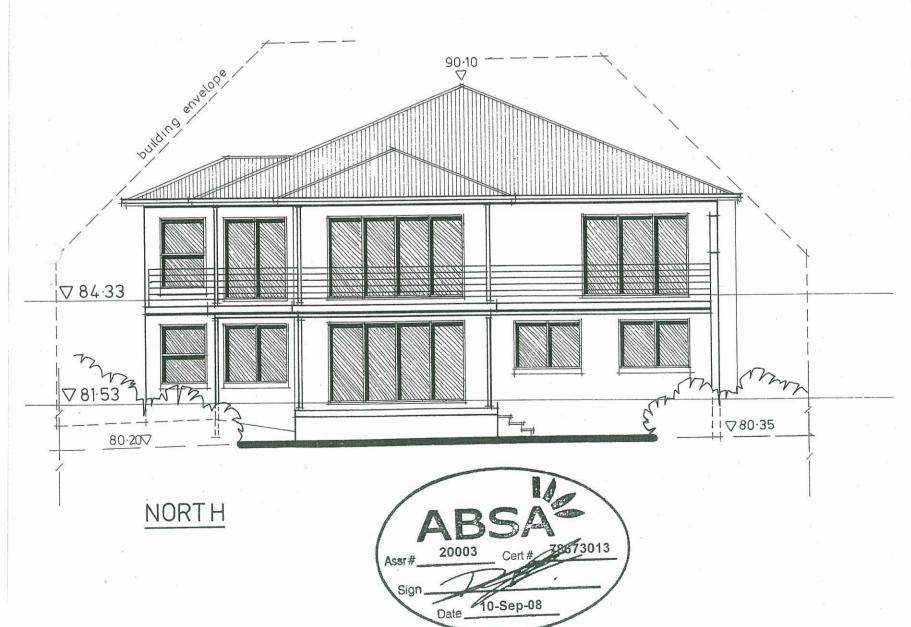
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 6 of 9A





ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Obscure Glass	O/G

Comment D/H D/H D/H
D/H D/H
D/H
/ 3 3 7
/W
J/W - O/G
s/W
S/W - O/G
10 10 10 10

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Widtl
Family .	2400
Family	3600
Bedroom 1	2700
Rumpus	3600

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Areas.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

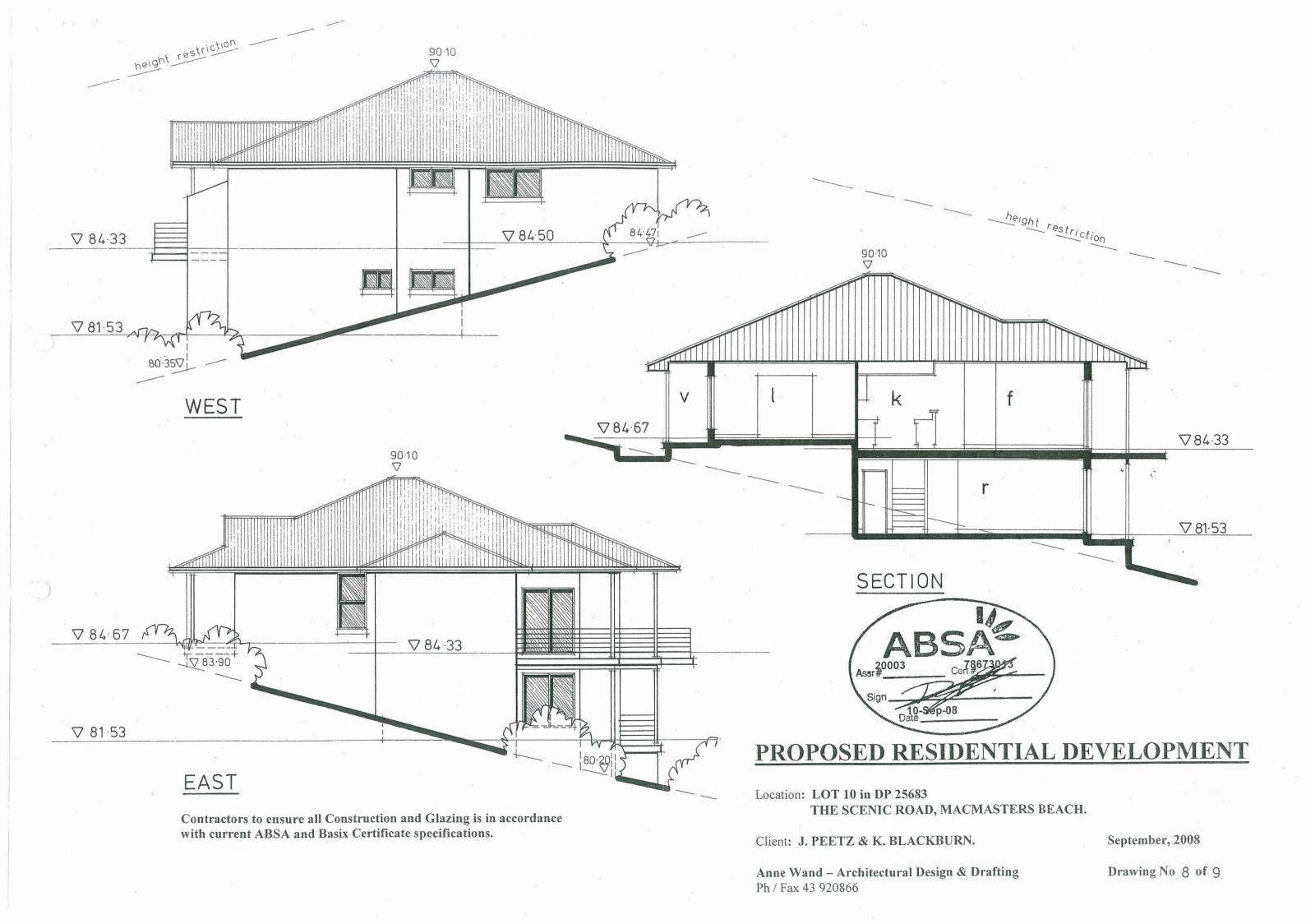
Client: J. PEETZ & K. BLACKBURN.

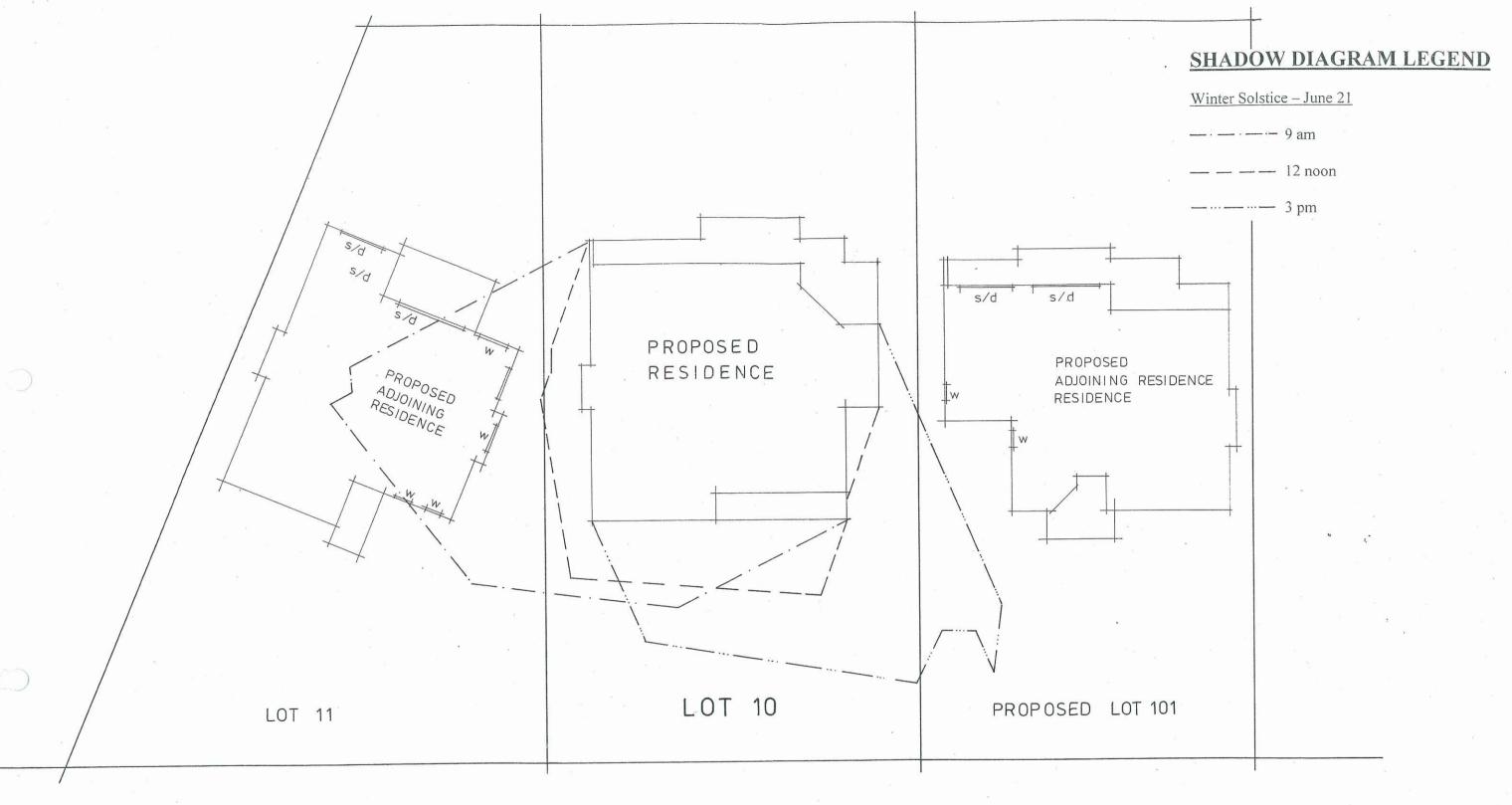
September, 2008

Anne Wand - Architectural Design & Drafting

Drawing No 7 of 9

Ph / Fax 43 920866

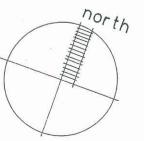




R O A D SCENIC THE

SHADOW DIAGRAM

1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 10 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

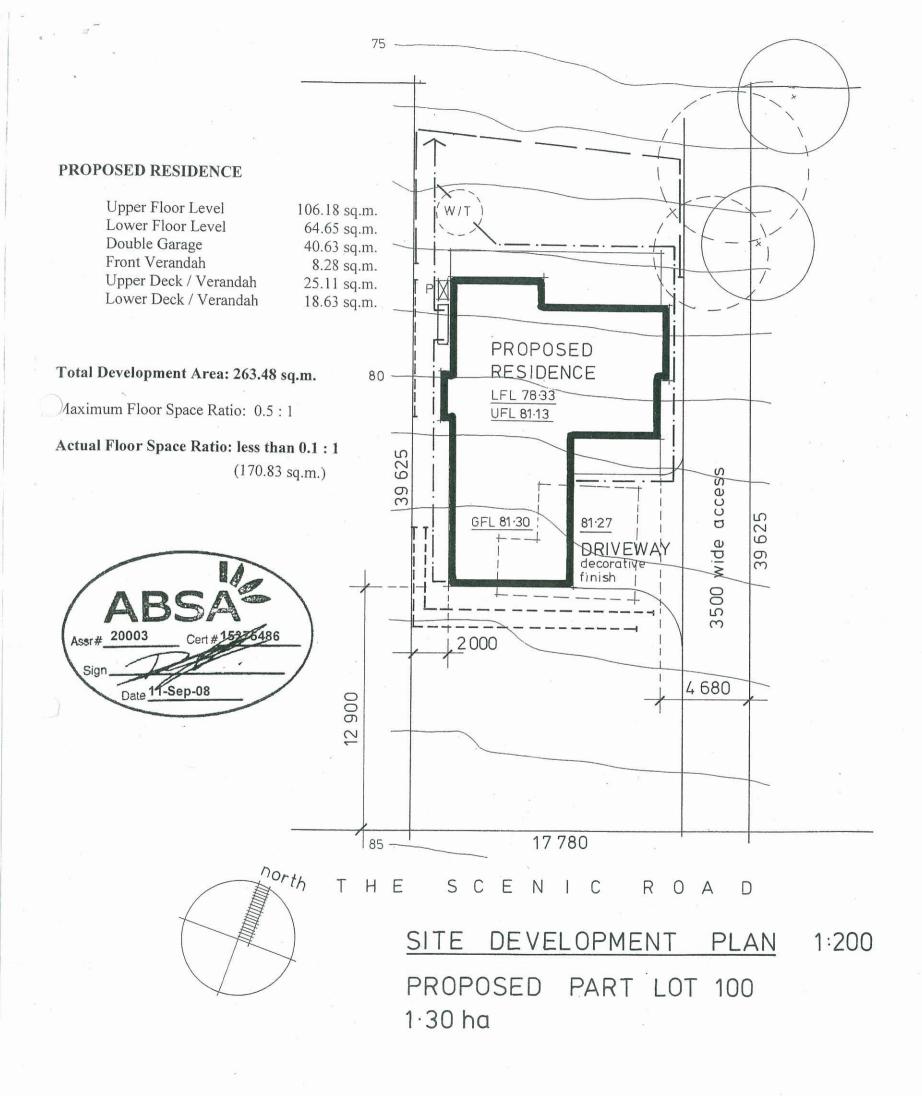
Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting

Drawing No 9 of 9

Ph / Fax 43 920866



GENERAL NOTES

Provide / inst selected by C	all rainwater tanks as required by ABSA Specification and as lient. Connect to water closets, laundry and external taps.
. \square	Minimum 3000 litre water storage tank as required by Basix
	nd construction to be in accordance with the ABSA / Basix prepared by Solar Smart of Swansea.
(W/T)	Minimum 10,000 litre static water supply tank
P⊠	Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby
Protection A	ection requirements to be done in accordance with the Bushfire ssessment report prepared by Australian Bushfire Protection Limited of Somersby.
	Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)
<u></u>	Siltation control fencing to Council requirements
	Stormwater layout – diagrammatic only
Water tank ov nutrient contr	verflows to be connected to the stormwater disposal system comprising of ol facility and concrete head wall with inbuilt scour protection.
An on-site ser facility to be i	wer management system comprising of a holding tank and 'pump out' installed to Council requirements.
(x)	Existing trees to be retained ./ protected during construction
	Existing trees to be removed to allow for proposed residence
81-97	Finished ground levels
 	Existing derelict structure to be removed
~	

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683 THE SCENIC ROAD, MACMASTERS BEACH.

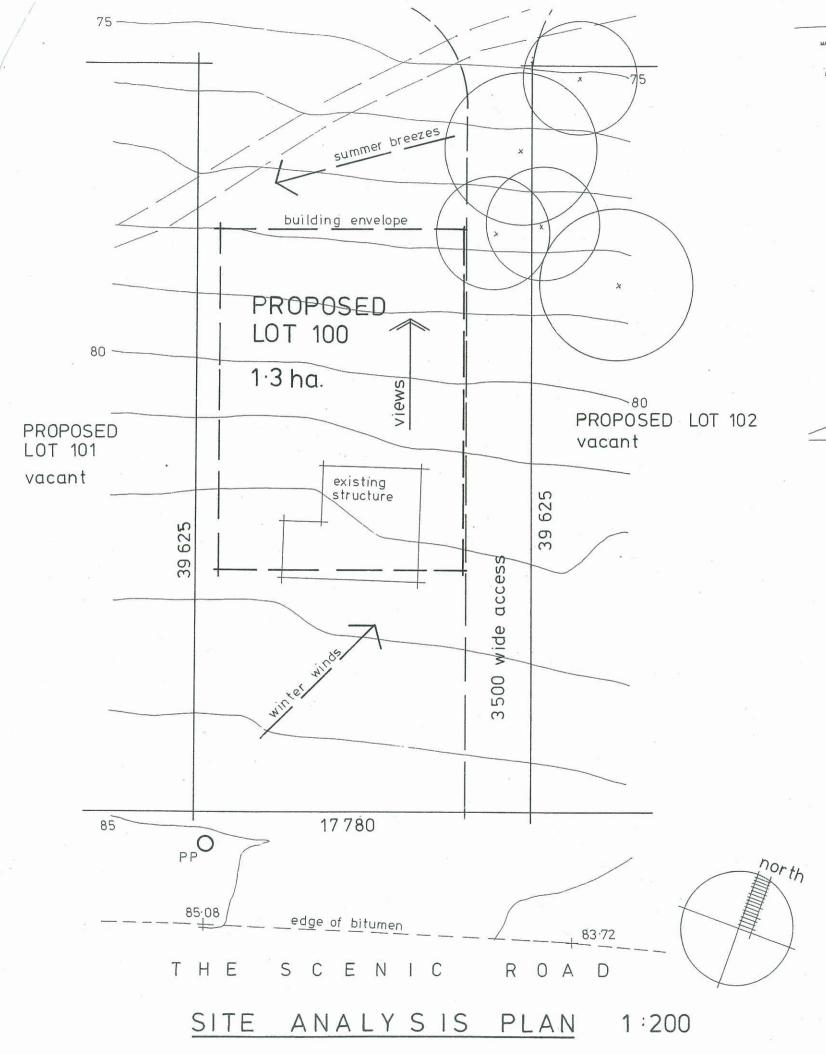
Client: J. PEETZ & K. BLACKBURN.

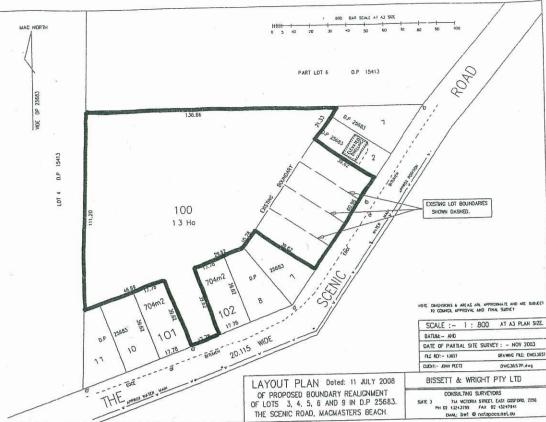
September, 2008

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Drawing No 1 of 9

6715462





The site is currently vacant but has a derelict structure being within the site Site has consistent fall to the northern boundary Contours at 1 metre intervals to AHD - refer Survey plan Site is not subject to mines subsidence Site is not subject to flooding A 3500 wide vehicular access easement is proposed on the eastern side Site is not subject to easements / restrictions / covenants Site is not subject to natural watercourses or land features Orientation of site to true north is shown Views are to the northern area of the site Existing trees have been shown on site Prevailing summer breezes are from the north - east Prevailing winter winds are from the south - west Adjoining sites are currently vacant of residences but do have derelict structures Water and electricity located in The Scenic Road Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 190square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 35tar Showers and Tapware to be installed.
- 4Star Toilets to be installed.

HOT WATER SYSTEM

HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

· Nil

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- · Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor	# 20003	Certifica	ate # 15375486	Issued:	11-Sep-08
		Thern	nal Performance S	necifications	770
These are the Sp	ecifications upo	n which the Certified Asse	ssment is based, If details in	cluded in these Specifications	e vary from other drawings or win ment, that specification must ap d extent of alternate specification
instances of that	ese openication element for the	ns shall take precedence.	If only one specification option	n is detailed for a building ele	ment, that specification
be detailed below	and / or clearly	indicated on referenced d	ocuments.	ang element, the location and	vary from other drawings or wi ment, that specification must ap d extent of alternate specificato
Windows	Product ID	Glass	Frame	U value SHGC	Area M
33m		Single clear	Aluminium	3mm Clr Uw<=7.72	27. SHGC 0.778+10%
					1511GC 0.178+10%
Skylights	Product ID	Glass	Frame	U value SHGC	Area M Detail
					Detail
Window and skyliq the SHGC value is	ght U and SHG0 s less than 10%	C values, if specified, are a higher or lower, than the	according to NFRC, Alternate U and SHGC values of the pr	products or specifications ma reduct specified above	ay be used if their U value is low
External wall			Colour - Solar abs		88.6
Brick Veneer		R1.5	Light -SA < 0.475		
			300 300 500		
Internal walls		n Insulation	Detail	No.	V) (S)
Plasterboard or	Studs	None -			7.07
Brick plastered		None			
Floors	Construction	n Insulation	Covering	Detail	
Concrete	2101211	None	Carpet		
Concrete		None	Ceramic Tile		
Ceilings	Canalasalias	1. 60	2.5.7		
	Construction		Detail		A PARTY
Plasterboard		R3.0	As per detail on pla	en company of the company	
Plasterboard		None	intermediate floor-o	eilings	
Roof	Construction	n . Insulation	Colour	Detail	100
Roofing Tiles		Foil (Sisalation)	Dark - SA > 0.7		
)(
Window cove	r Internal (c	urtains)	Exter	nal (awnings, shutters, et	(c)
None			None None		1.0
Fixed shading	T Empe (un	dth - inc. gutters, heigl	at abaus usindau. Mass	de Bartana	
150 O	600mm Ov			ndahs, Pergolas (type, de ercent	As per detail on plans
					per detail on plans
Ouembede :				(L Like
Overshadowii	ng Oyersha	adowing structures	Overs	shadowing trees	200
				The state of the s	
Orientation, E Orientation of no		ntilation and lastrati	on	V	ria da Pr
Ter cate	Sul Sul		area open to entry: creas separated by do	Yes Ven	tilated skylights
o v Alila			open to heated areas:	ors Yes Ope	en fire or unflued gas heate to
oss ve tila	IIVO I		s to windows and doors:		
Subfloor ventilat	tion On array	하면 그렇지 말하다면	s to windows and doors:		Il and ceiling vents
20003		Dert #5:324		s No	- 280,000
	/	AND THE PROPERTY OF THE PERSON			
Date1	1-Sep-1	08			
-		-			
-	Chippen Street open	THE PERSON NAMED IN COLUMN TWO IS NOT THE OWNER.			

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS - LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire—retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence. Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion—resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

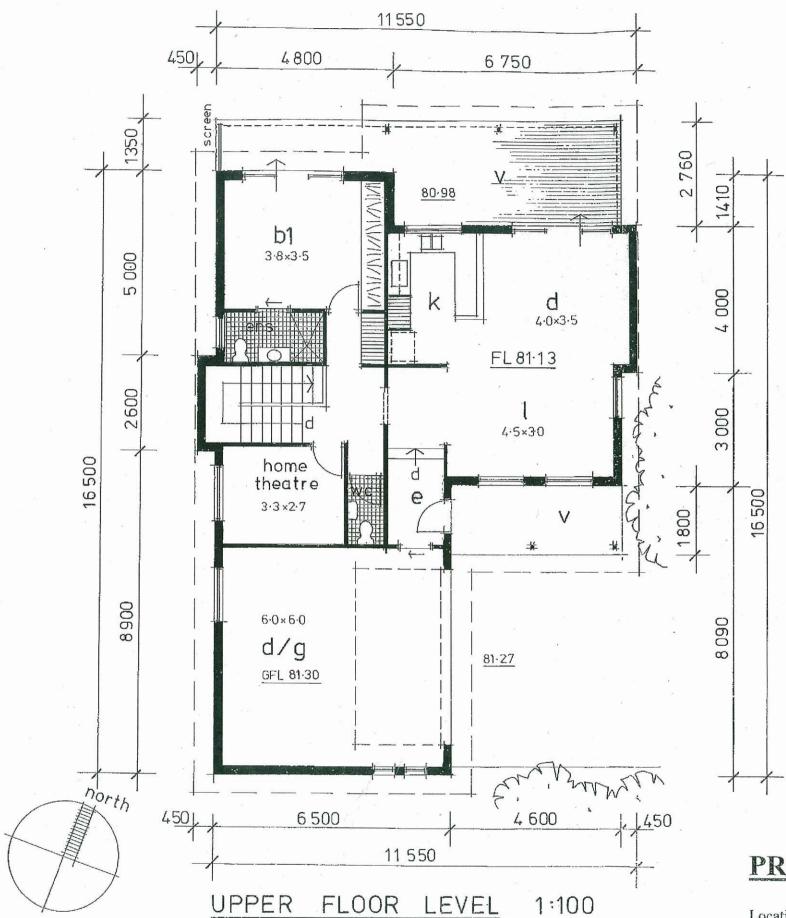
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

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Drawing No 4 of 9





PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

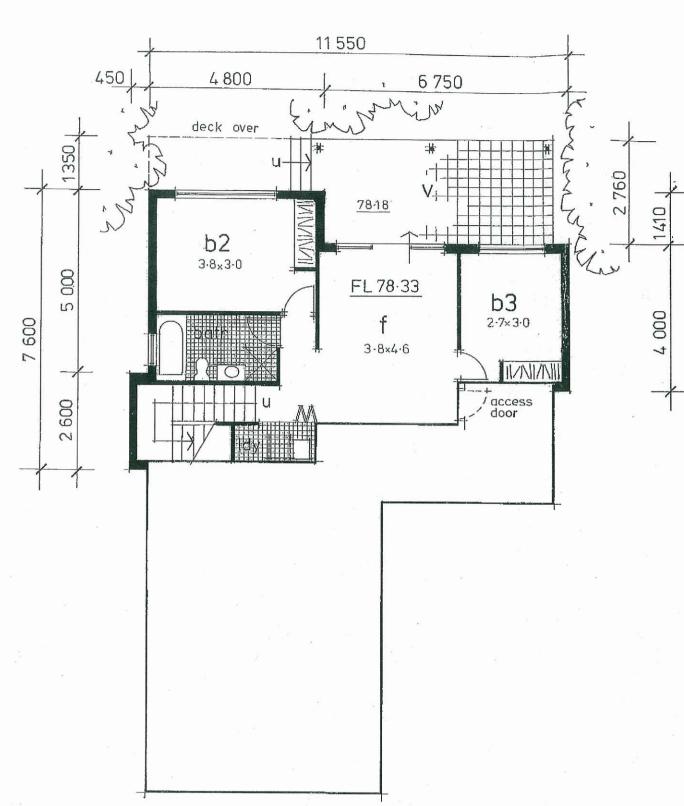
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Client: J. PEETZ & K. BLACKBURN.

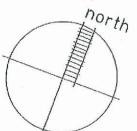
September, 2008

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Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.







LOWER FLOOR LEVEL

1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

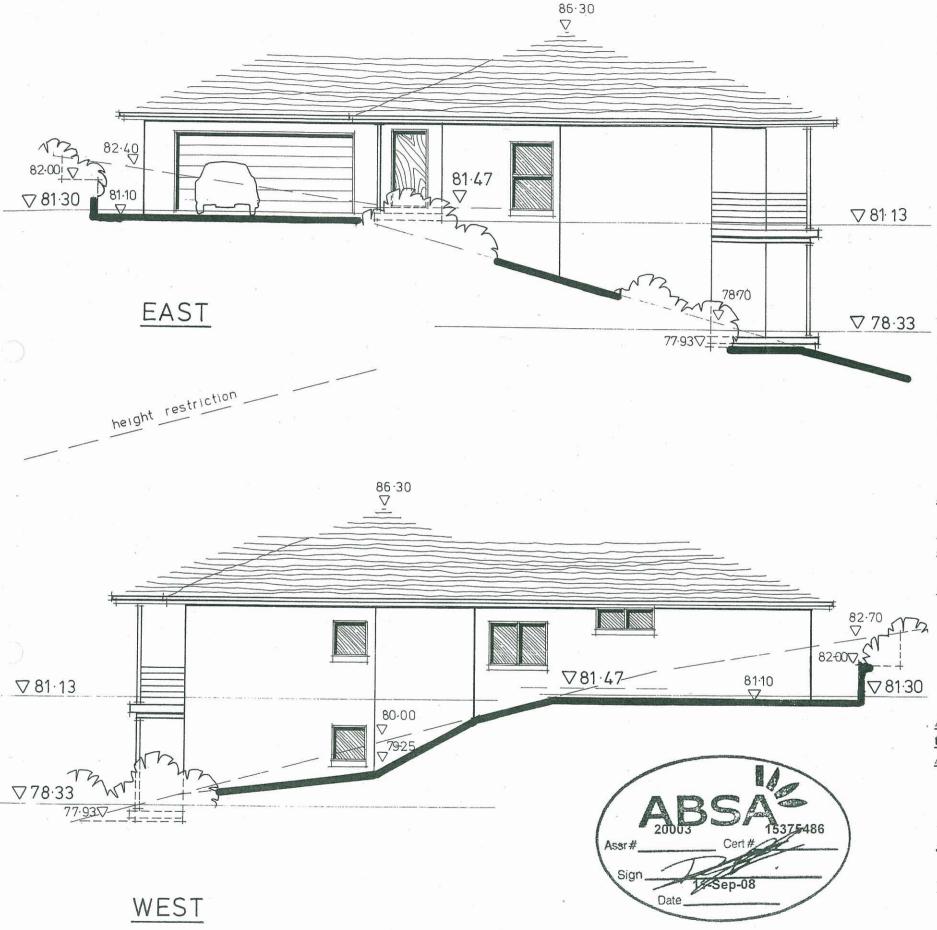
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 6 of 9



Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

0.	Location	Height	Width	Comment
W1	Lounge	1800	1200	D/H
W2	Lounge	1800	1200	D/H
W3	Lounge	1800	1200	D/H
W4	Kitchen	1050	1500	S/W
W5	Ensuite	900	900	A/W - O/G
W6	Study	1200	1500	S/W
W7	Garage	600	1500	S/W
W8	Garage	1800	600	Fixed glass
W9	Garage	1800	600	Fixed glass
W10	Bedroom 3	1200	1800	S/W
W11	Bedroom 2	1200	2700	S/W
W12	Bathroom	900	900	A/W - O/G

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Dining	2700
Bedroom 1	2700
Family	2700

All windows / sliding doors to be in accordance with BCA, Standards Association of Aust the ABSA Specification / Requirements and the recommendations of the Bushfire Protect Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Ar

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

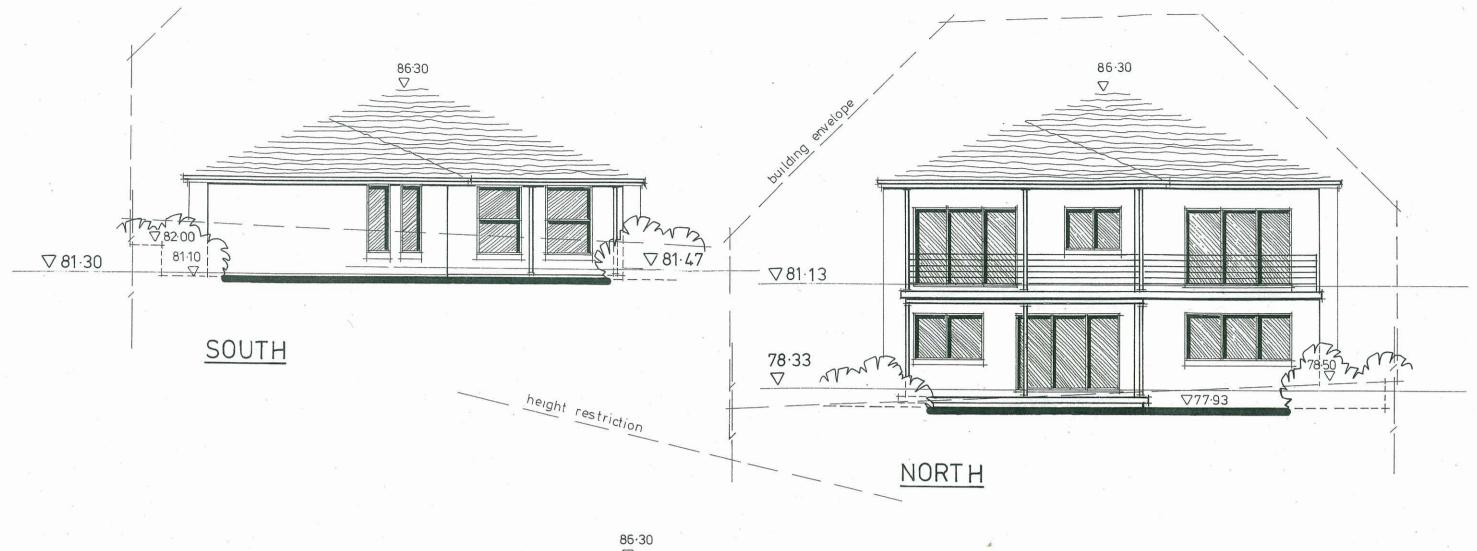
THE SCENIC ROAD, MACMASTERS BEACH.

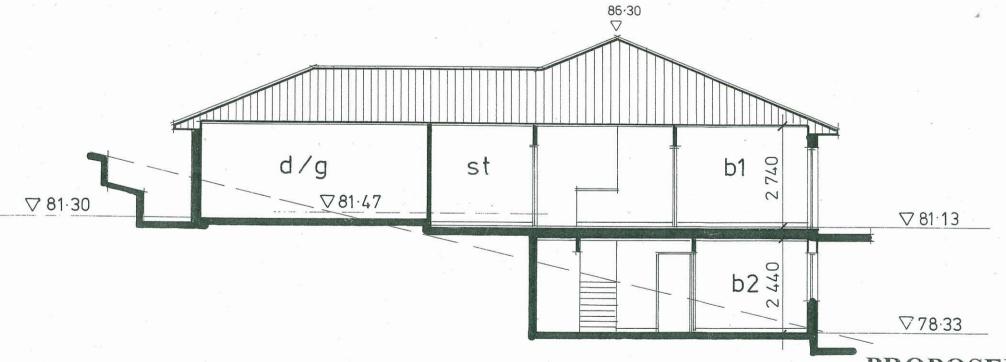
Client: J. PEETZ & K. BLACKBURN.

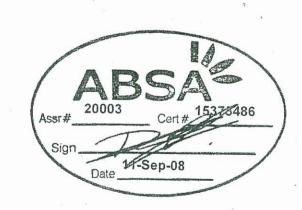
September, 2008

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Drawing No 7 of 9







SECTION

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

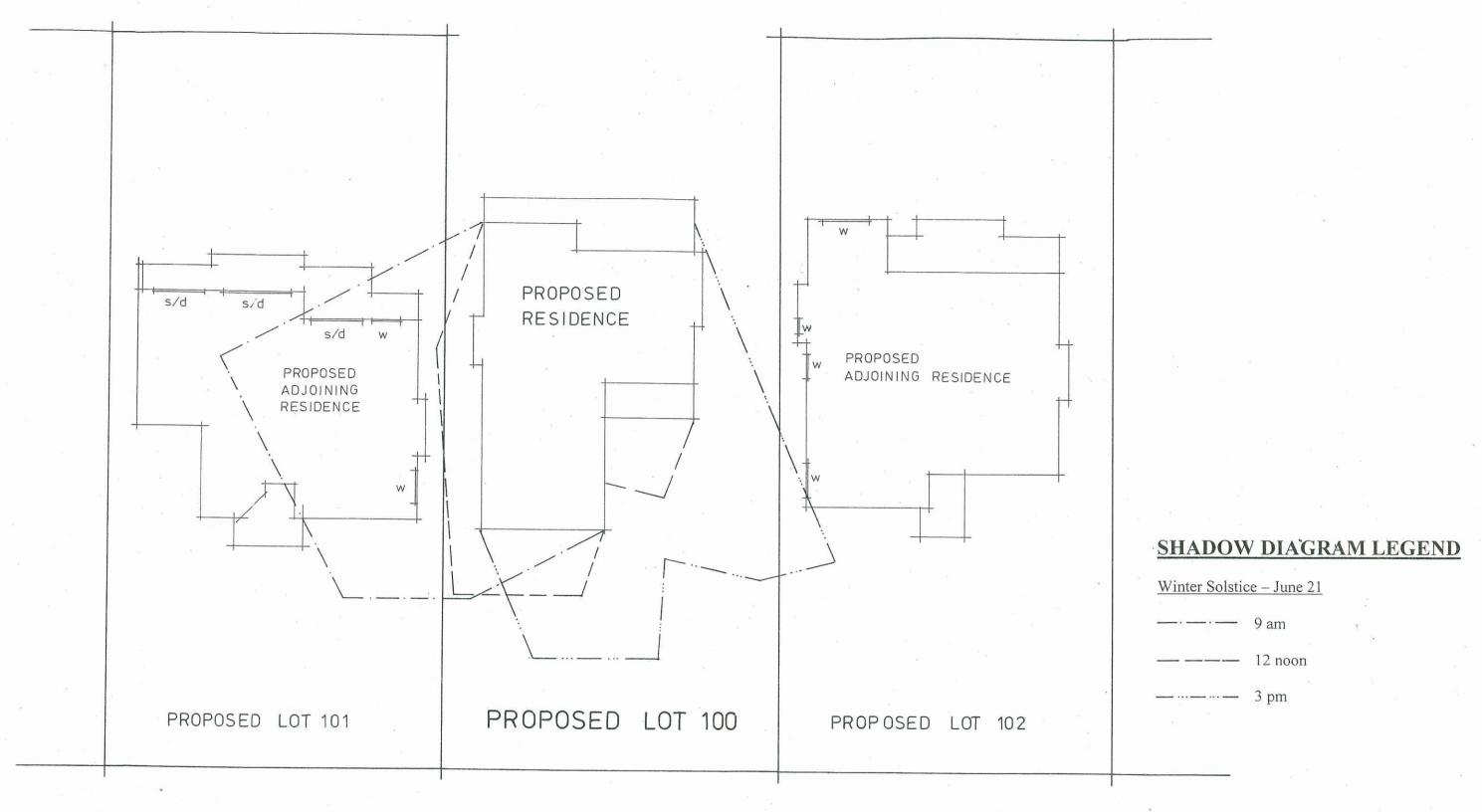
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

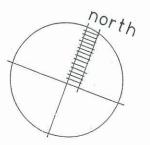
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Drawing No 8 of 9



THE SCENIC ROAD

SHADOW DIAGRAM 1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 100

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

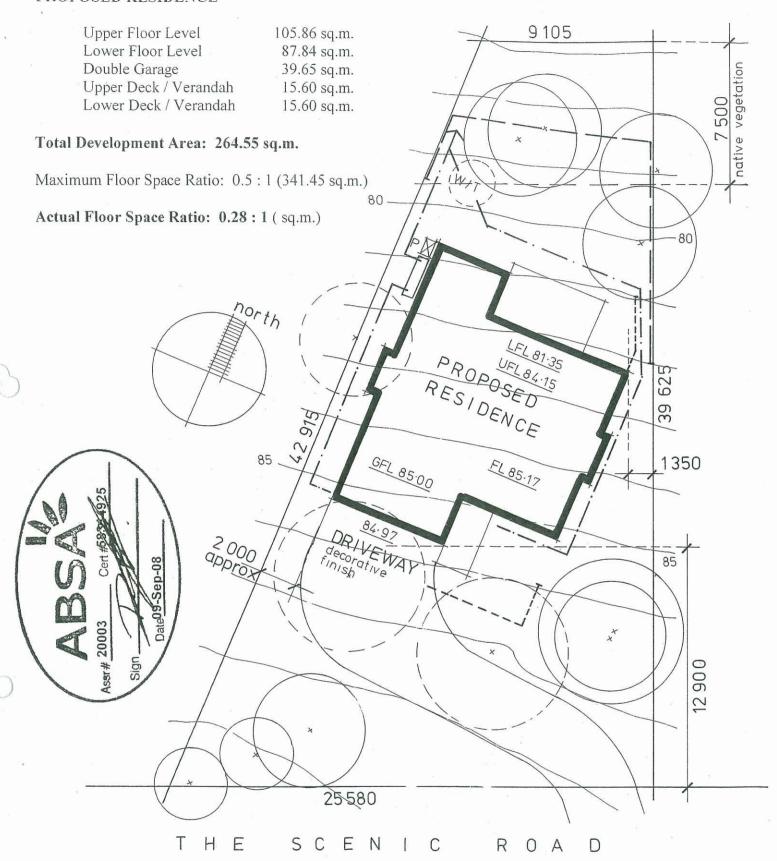
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 9 of 9

PROPOSED RESIDENCE



SITE DEVELOPMENT PLAN 1:200

LOT 11 in DP 25683 682.9 sq.m.

GENERAL NOTES

Provide / insta selected by C	all rainwater tanks as required by ABSA Specification and as lient. Connect to water closets, laundry and external taps.				
	Minimum 3000 litre water storage tank as required by Basix				
Insulation an Specification	d construction to be in accordance with the ABSA / Basix prepared by Solar Smart of Swansea.				
(W/T)	Minimum 10,000 litre static water supply tank				
P⊠	Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby				
Protection As	ction requirements to be done in accordance with the Bushfire ssessment report prepared by Australian Bushfire Protection Limited of Somersby.				
SHIPS NAME SAME SAME WHAT WHAT	Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)				
-	Siltation control fencing to Council requirements				
	Stormwater layout – diagrammatic only				
Water tank ov nutrient contro	erflows to be connected to the stormwater disposal system comprising of a ol facility and concrete head wall with inbuilt scour protection.				
An on-site sev facility to be i	wer management system comprising of a holding tank and 'pump out' nstalled to Council requirements.				
*	Existing trees to be retained ./ protected during construction ,				
	Existing trees to be removed to allow for proposed residence				
84.97	Finished ground levels				
	Existing derelict structure to be removed				
Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.					

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

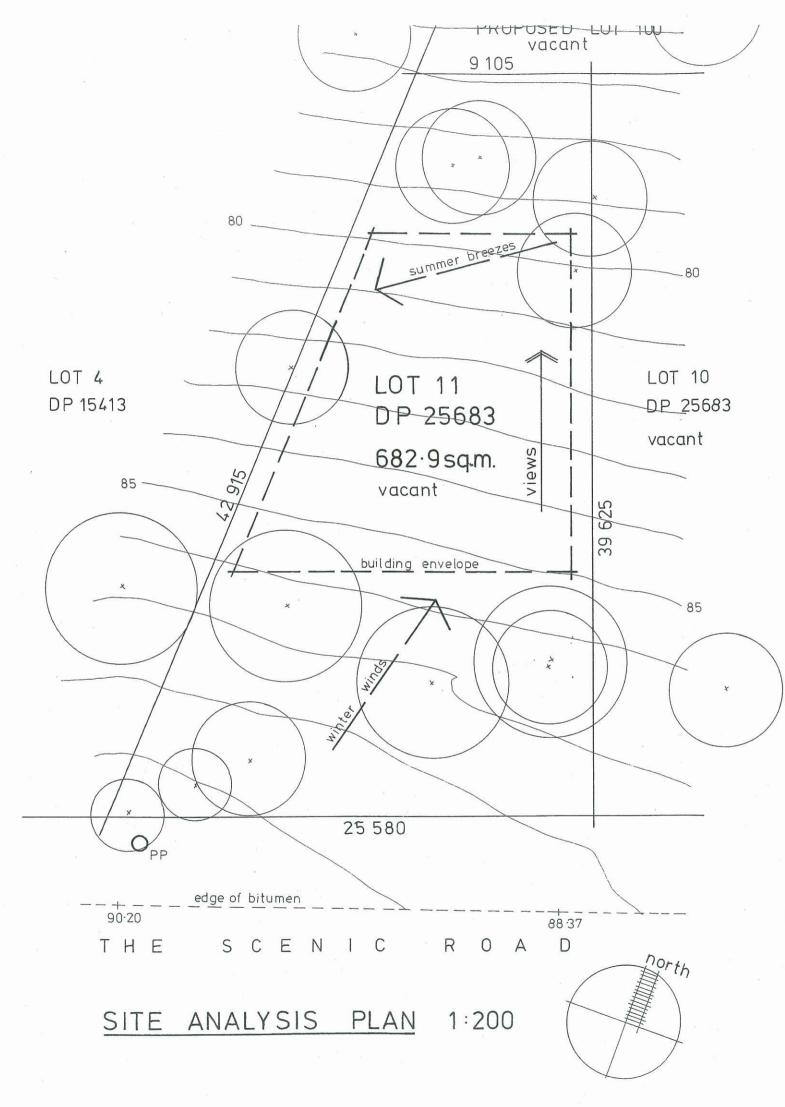
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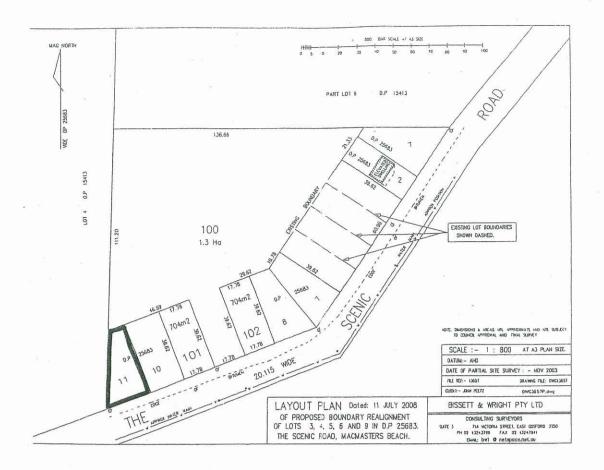
September, 2008

Anne Wand - Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 1 of 9

6715458





Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD – refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site Prevailing summer breezes are from the north - east

The site is currently vacant

Prevailing winter winds are from the south - west

Adjoining sites are currently vacant of residences but do have derelict structures Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting

Drawing No 2 of 9

Ph / Fax 43 920866

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3000litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 188square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.
- Min. 80 Square metres of Indigenous or Low Water
 Use Landscaping inside Rear Boundary of Site.

WATER FIXTURES

- 3Star Showers and Tapware to be installed.
- · 4Star Toilets to be installed.

HOT WATER SYSTEM

HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

• Nil

VENTILATION / ELECTRICAL

- Ind. fan, manual switch to Kitchen
- Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- · Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	20003		cate # 583149				09-Sep	-00	
specifications, thes instances of that el	e Specifications s ement for the proj	hich the Certified As hall take precedence	mal Performan sessment is based. If de s. If only one specificatio ifications are detailed for documents.	tails included i n option is det	n these Spec ailed for a bu	cilications ulding eler	nent, that sp	ecification mu	st apply t
Windows	Product ID	Glass	Frame		U value	SHGC	Area M	Detail	~
32m	Si	ngle clear	Aluminium		3mm Clr U	w<=7.72	7, SHGC (),778+-10%	
Skylights	Product ID	Glass	Frame		U value	SHGC	Area M	Detail	
the SHGC value is	less than 10% hig	her or lower, than th	e according to NFRC, Al e U and SHGC values o	f the product s	pecified abo	ations ma	y be used if	their U value i	s lower, a
External walls		Insulation	Colour - Sola		c Detail			***	
Brick Veneer	R	1.5	Light -SA <0	.475		11			
Internal walls		Insulation	Detail						
Plasterboard on Brick plastered		one							
Floors	Construction	Insulation	Covering		Detail				
Concrete	N	one	Carpet						
Concrete	No.	one	Ceramic Tile						
Ceilings	Construction	Insulation	Detail						-
Plasterboard		3.0	As per detail	on plans		-			
Plasterboard		one	intermediate		S				
Roof	Construction	Insulation	Colour	- I	Detail	12.7			-
Roofing Tiles	Fo	oil (Sisalation)	Dark - SA >	0.7	0				
Window cove	r Internal (curi	lains)		External (a	wnings, sh	utters, et	c)		
None				None					
Fixed shading	Eaves (width	- inc. gutters, he	ight above window	Verandahs,	Pergolas	(type, de	escription)		
450 0	600mm Over	all ,		100 percen	t		As per det	ail on plans	
Overshadowi	ng Overshad	owing structures		Overshado	wing trees				
-	xposure, Vent	ilation : I ly t	ation						
Orientation of n	ominal north 0	·	area opes to en vine areas sepail ter	by doors		Ope		nflued gas h	
OSS V. tila Subfloor ventila	tion On ground	S	lair open to heated a eals to windows and xbast fans without o	oors:	Yes Yes No		nted down		No No
20003	C	ert #2.77	925			1,			
n			/						
5.0	94Sep-0	8							
Date.		-	- Carlotte						

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866

Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas

Trowel finish to all garage floors

Timber framed construction to upper floors / sheet flooring

Carpet / Sheet vinyl as selected

Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS - LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire—retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence. Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion—resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

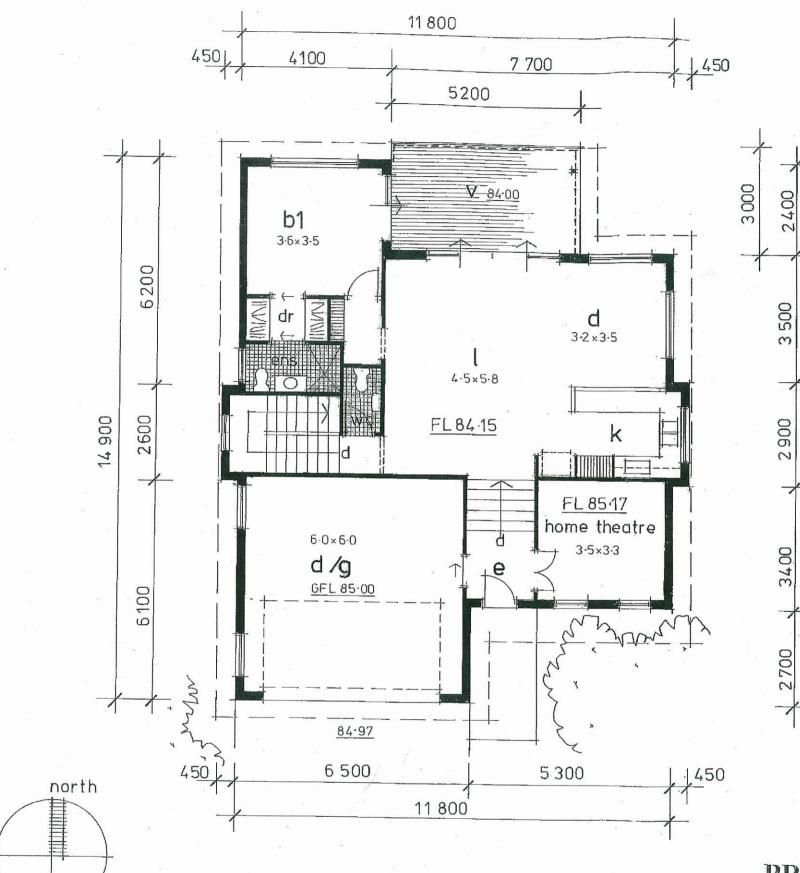
Location: LOT 11 in DP 25683

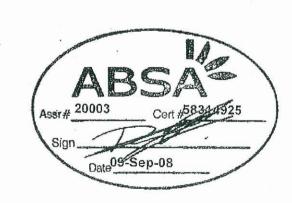
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 4 of 9





UPPER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

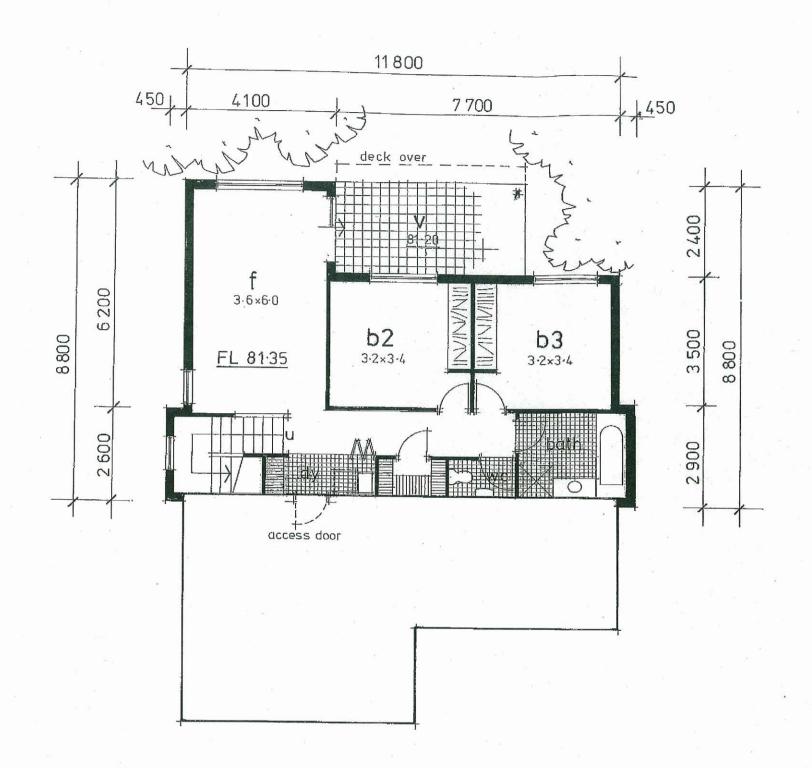
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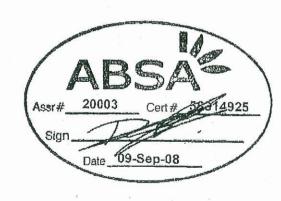
Client: J. PEETZ & K. BLACKBURN.

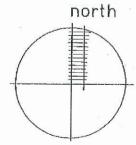
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Drawing No 5 of 9







LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

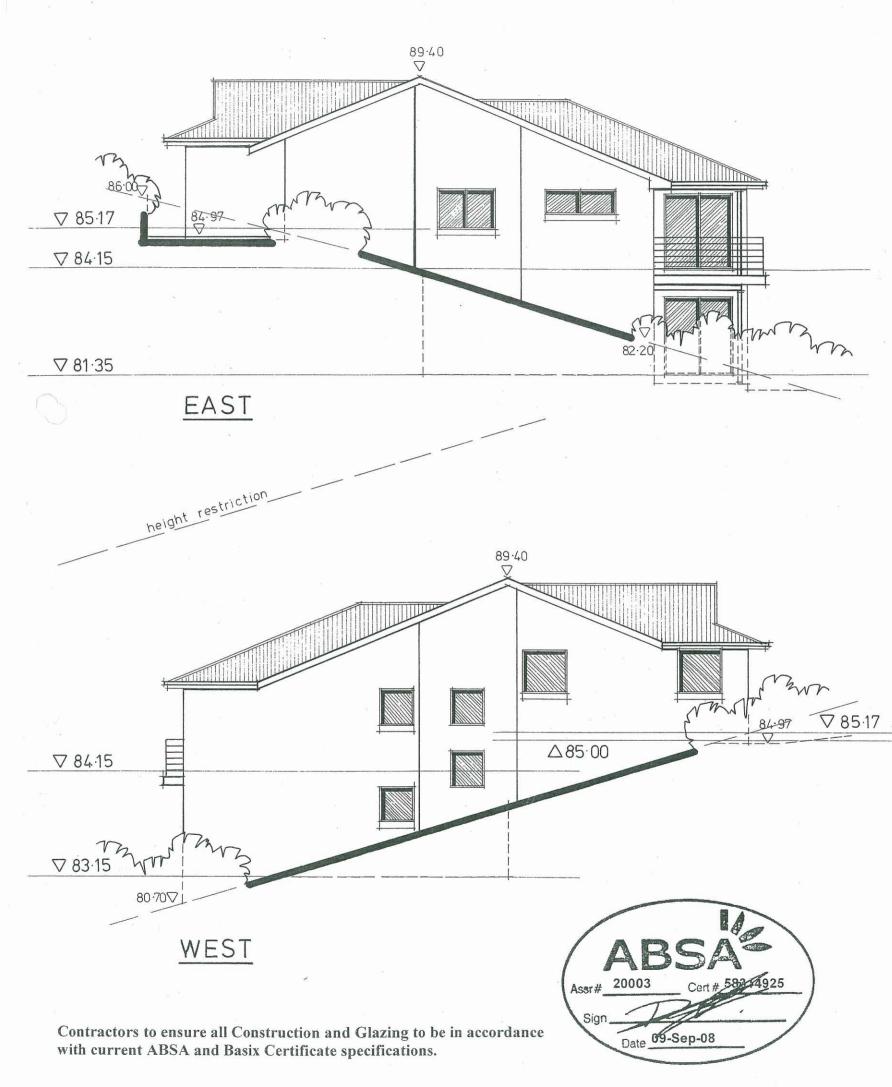
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

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Drawing No 6 of 9



ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Study	1800	900	D/H
W2	Study	1800	900	D/H
W3	Kitchen	1050	1500	S/W
W4	Dining	600	1800	S/W
W5	Dining	1200	1800	S/W
W6	Bedroom 1	1200	2400	S/W
W7	Ensuite	900	900	A/W - D/H
W8	Stair	900	900	Fixed
W9	Stair	900	900	Fixed
W10	Garage	1200	1200	A/W
W11	Garage	1200	1200	A/W
W12	Bedroom 3	1200	1800	S/W
W13	Bedroom 2	1200	1800	S/W
W14	Family	1200	2400	S/W
W15	Family	900	9000	A/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location Width
Lounge 3600 – centre opening

Bedroom 1 1800 Family 1800

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Areas.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

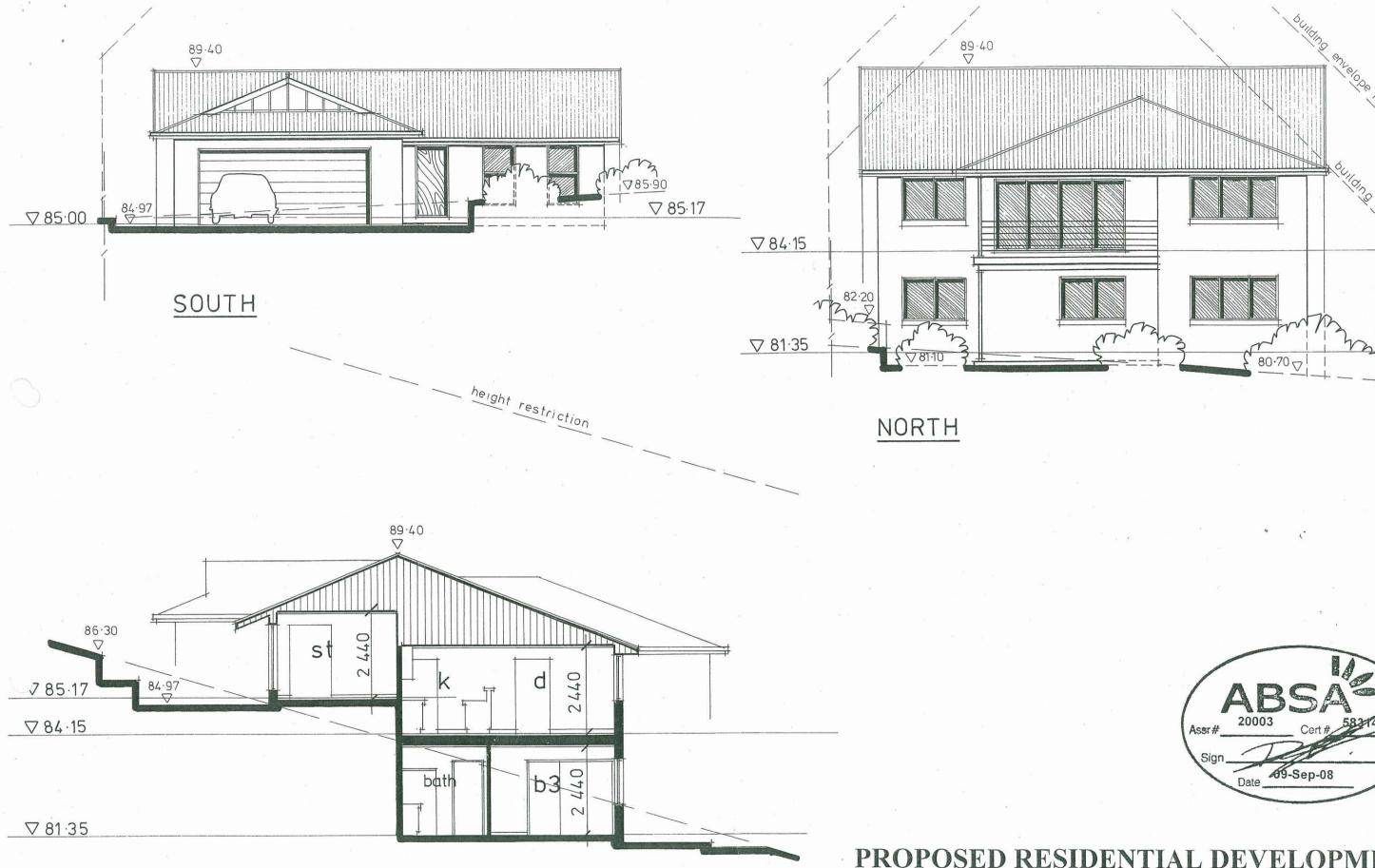
Client: J. PEETZ & K. BLACKBURN.

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Drawing No 7 of 9

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SECTION

Contractors to ensure all Construction and Glazing to be in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

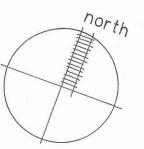
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Drawing No 8 of 9

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SHADOW DIAGRAM



1:200

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 11 in DP 25683

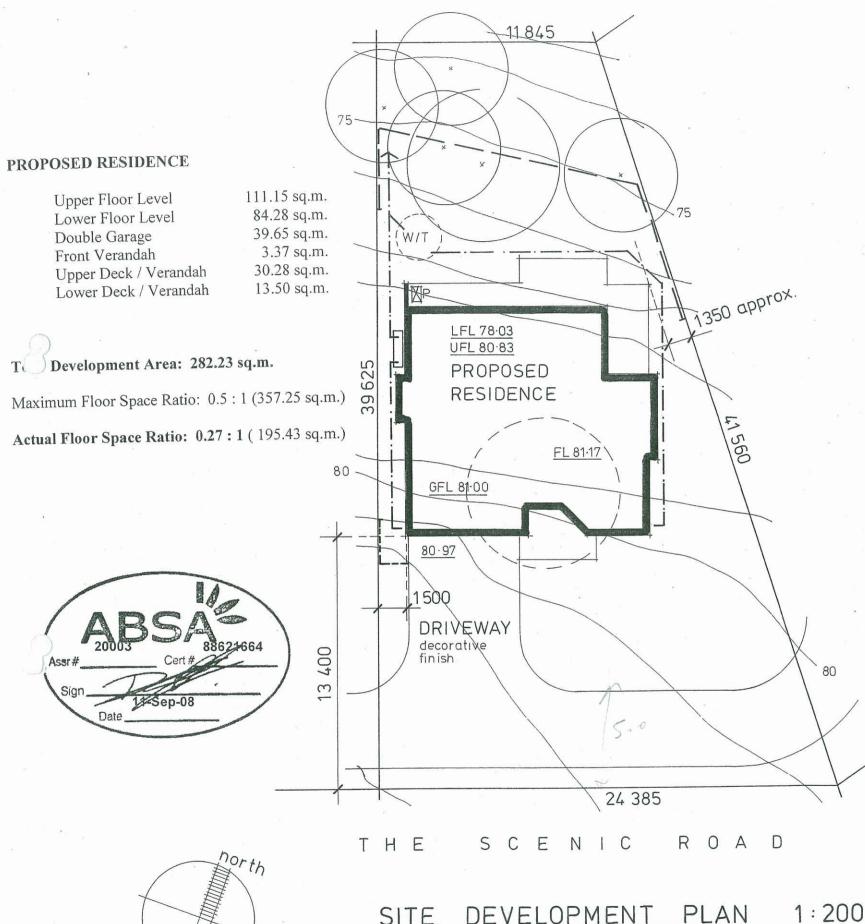
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

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Drawing No 9 of 9



DEVELOPMENT PLAN

LOT 8 in DP 25683 714 · 5 sq.m.

GENERAL	NOTES
Provide / install selected by Clie	rainwater tanks as required by ABSA Specification and as ent. Connect to water closets, laundry and external taps.
	Minimum 3000 litre water storage tank as required by Basix
	construction to be in accordance with the ABSA / Basix prepared by Solar Smart of Swansea.
$\left(\overline{\mathbb{W}/\mathbb{T}} \right)$	Minimum 10,000 litre static water supply tank
	Diesel powered pump housed in a fire proof enclosure with a 30 metre Fire Hose located nearby
Protection Ass	tion requirements to be done in accordance with the Bushfire sessment report prepared by Australian Bushfire Protection Limited of Somersby.
	Retaining wall as selected eg koppers logs / decorative blockwork (to engineers details as required)
	Siltation control fencing to Council requirements
success of administration of principles.	Stormwater layout – diagrammatic only
Water tank ovenutrient contro	erflows to be connected to the stormwater disposal system comprising of a l facility and concrete head wall with inbuilt scour protection.
An on-site sew facility to be in	ver management system comprising of a holding tank and 'pump out' astalled to Council requirements.
,	Existing trees to be retained ./ protected during construction
	Existing trees to be removed to allow for proposed residence
80.97	Finished ground levels
† <u>†</u>	Existing derelict structure to be removed
Contractors to	o ensure all Construction and Glazing is in accordance

with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

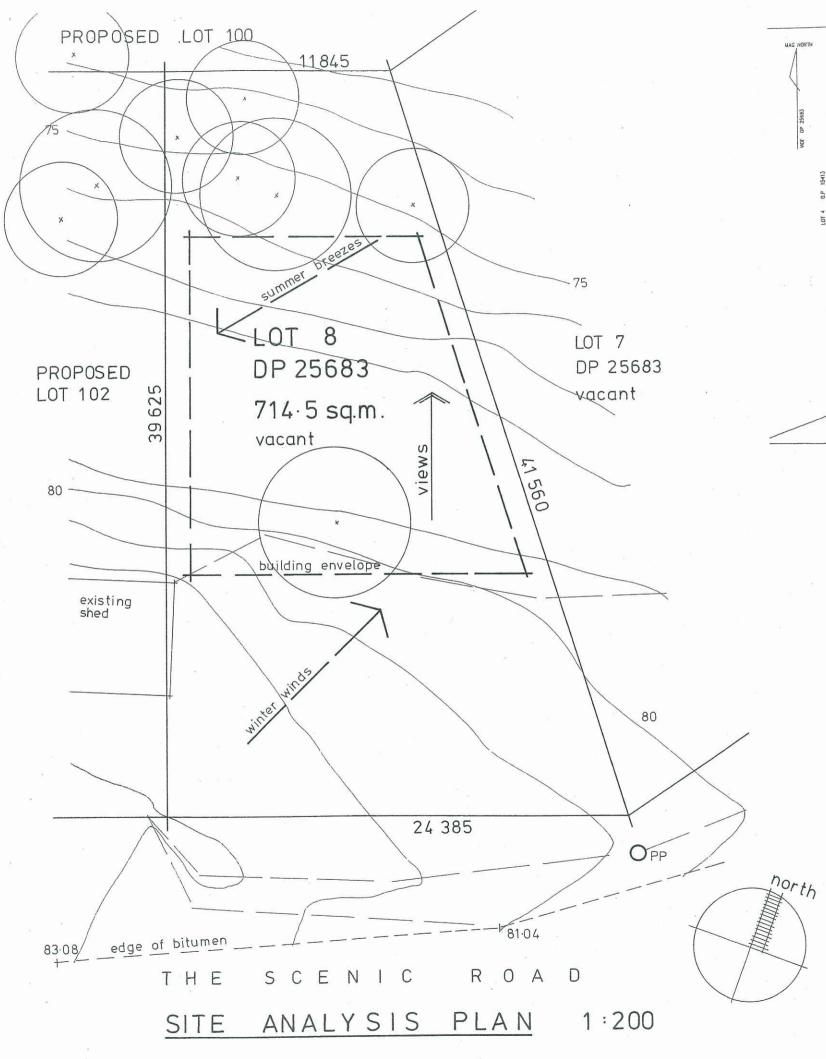
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Drawing No 1 of 9







The site is currently vacant but has a derelict structure being within the site and the adjoining western property.

Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD – refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site

Prevailing summer breezes are from the north - east

Prevailing winter winds are from the south - west

Adjoining sites are currently vacant of residences but do have derelict structures

Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 180square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 3Star Showers and Tapware to be installed.
- · 4Star Toilets to be installed.

HOT WATER SYSTEM

HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

· Nil

VENTILATION / ELECTRICAL

- · Ind. fan, manual switch to Kitchen
- · Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- · Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

Assessor #	20003	Certificate #	886216	664	Is	sued:	11-Sep	-08	
specifications, thes instances of that el	se Specification lement for the	Thermal P in which the Certified Assessments shall take precedence. If only opposed, if alternate specifications	t is based. If done specifications are detailed for	etails include	ed in these Spec detailed for a bu	ifications ilding eler	nent, that s	pecification mus	t apply to a
		indicated on referenced docume	nts.						
Windows	Product ID	Glass	Frame		. U value			Detail	- 0
39m		Single clear	Aluminium		3mm Clr Us	v<=7.72	7, SHGC	0.778+10%	
Skylights	Product ID	Glass	Frame		U value	SHGC	Area M	Detail	
Window and skylig the SHGC value is External walls	less than 10%	C values, if specifies, are according higher or lower, than the U and In Insulation	ng to NFRC. A SHGC values Colour - Sol	of the produc	at specified above	ations ma /e,	y be used i	their U value is	lower, and
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Brick plastered		None							
Floors Concrete	Construction	n Insulation None	Covering Carpet		Detail				•
Concrete		None	Ceramic Tile						
Concrete		None	Ceramic in	3					
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Plasterboard Plasterboard			As per detai intermediate		ngs				
Roof	Construction	n Insulation	Colour		Detail ·			1000	
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Window cove	r Internal (d	curtains)		External ((awnings, shu	tters, etc	:)	-	
None				None	11 1151				
Fixed shading	Eaves (w	idth - inc. gutters, height abo	ve window		ıs. Pergolas (-	-	.1	
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Subfloor ventila		und Exhant f	vindows and ans without		Yes No	Wal	and ceili	ng vents:	No
20003		Cert #ge	-		-3				
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PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand - Architectural Design & Drafting

Drawing No 3 of 9

Ph / Fax 43 920866

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas
Trowel finish to all garage floors
Timber framed construction to upper floors / sheet flooring
Carpet / Sheet vinyl as selected
Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
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Ceramic walls tiles to wet areas as selected
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Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or
Timber framed construction with selected boarding – all to be fire retardant treated
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porches as required / selected – all to be fire retardant treated
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FIRE REQUIREMENTS - LEVEL 3 CONSTRUCTION

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Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683

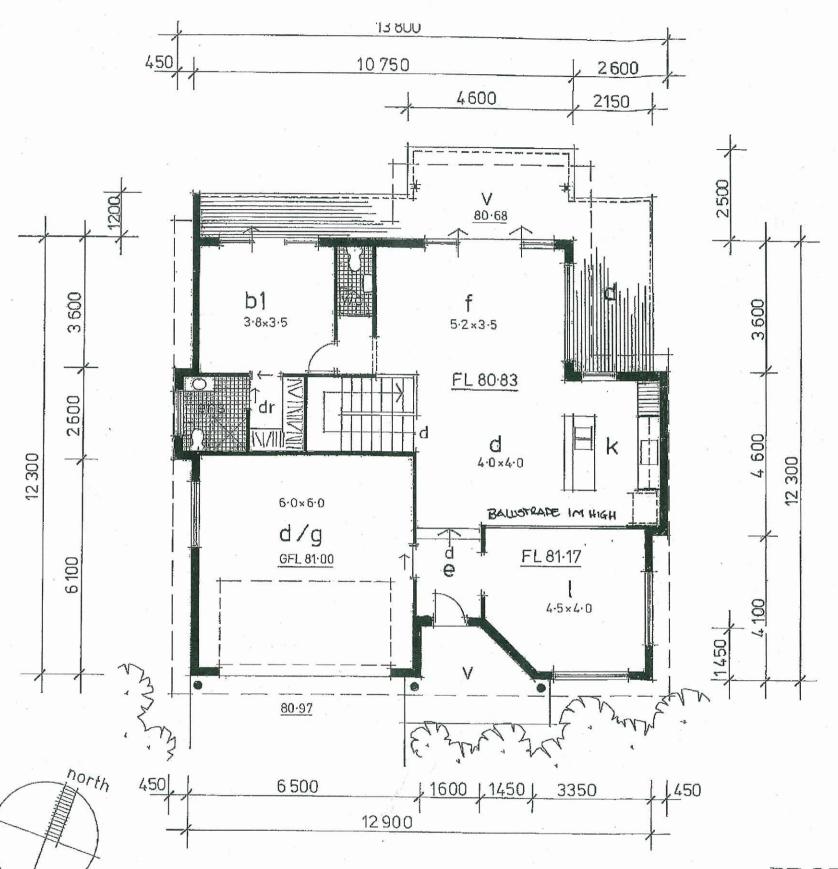
THE SCENIC ROAD, MACMASTERS BEACH.

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September, 2008

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Ph / Fax 43 920866

Drawing No 4 of 9





UPPER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

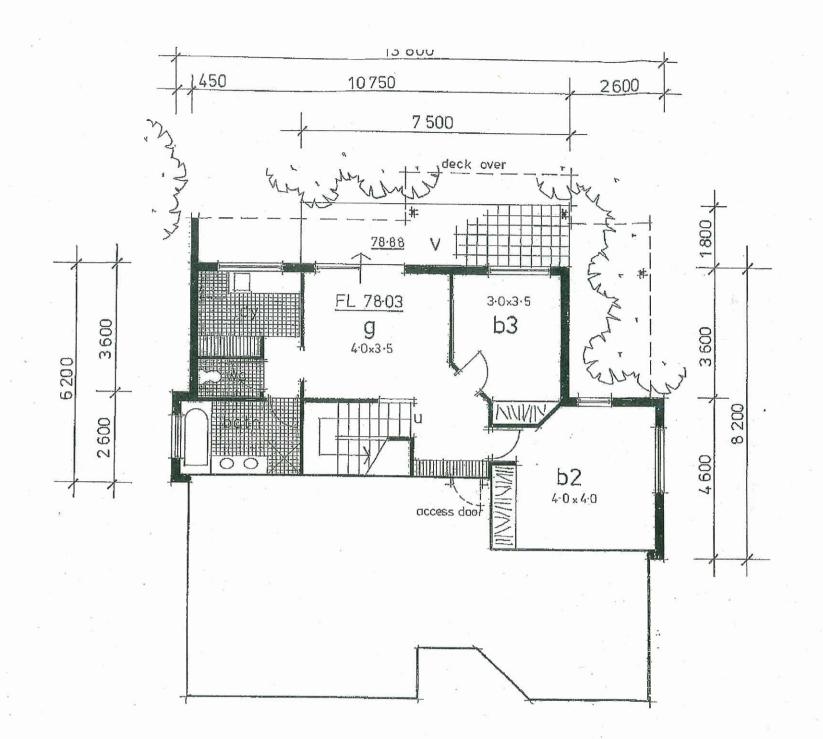
Location: LOT 8 in DP 25683

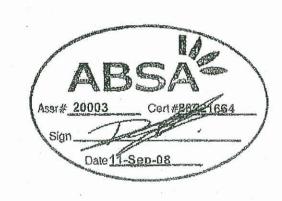
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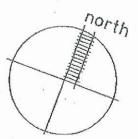
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September, 2008

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LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

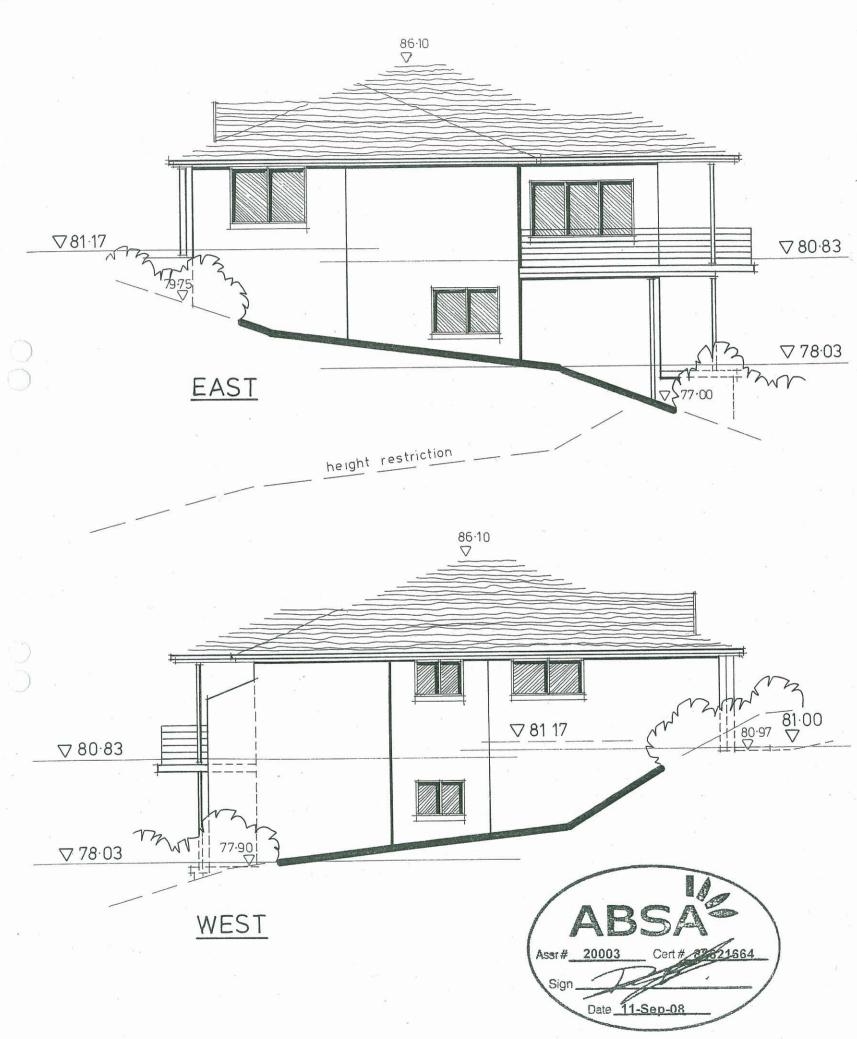
Location: LOT 8 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

Anne Wand – Architectural Design & Drafting Ph / Fax 43 920866 Drawing No 6 of 9



ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

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~ 4	9		(La

Sliding	S/W
Double hung	D/H
Obscure Glass	O/G

	Location	Height	Width	Comment
W1	Lounge	1500	2100	S/W
W2	Lounge	1500	2100	S/W
W3	Kitchen	1500	900	D/H
W4	Ensuite	900	1200	S/W - O/G
W5	Garage	900	1800	S/W
W6	Bedroom 2	. 1200	1800	S/W
W7	Bedroom 2	1500	900	D/H
W8	Bedroom 3	1200	1800	S/W
W9	Laundry	900	1800	S/W
W10	Bathroom	900	1200	S/W - O/G

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Family	3600
Bedroom 1	2700
Games Room	2400

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia, the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Areas.

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: LOT 8 in DP 25683

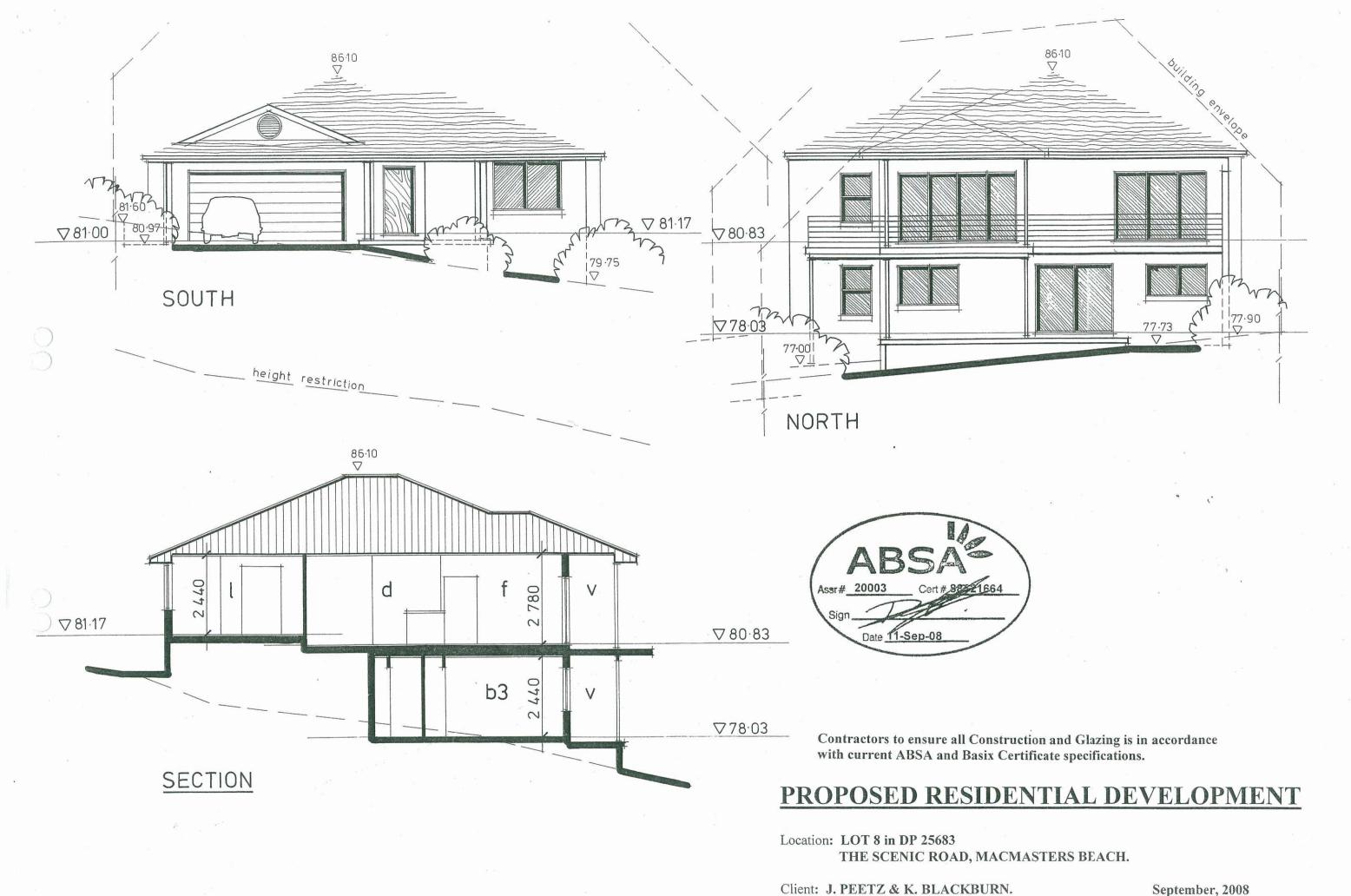
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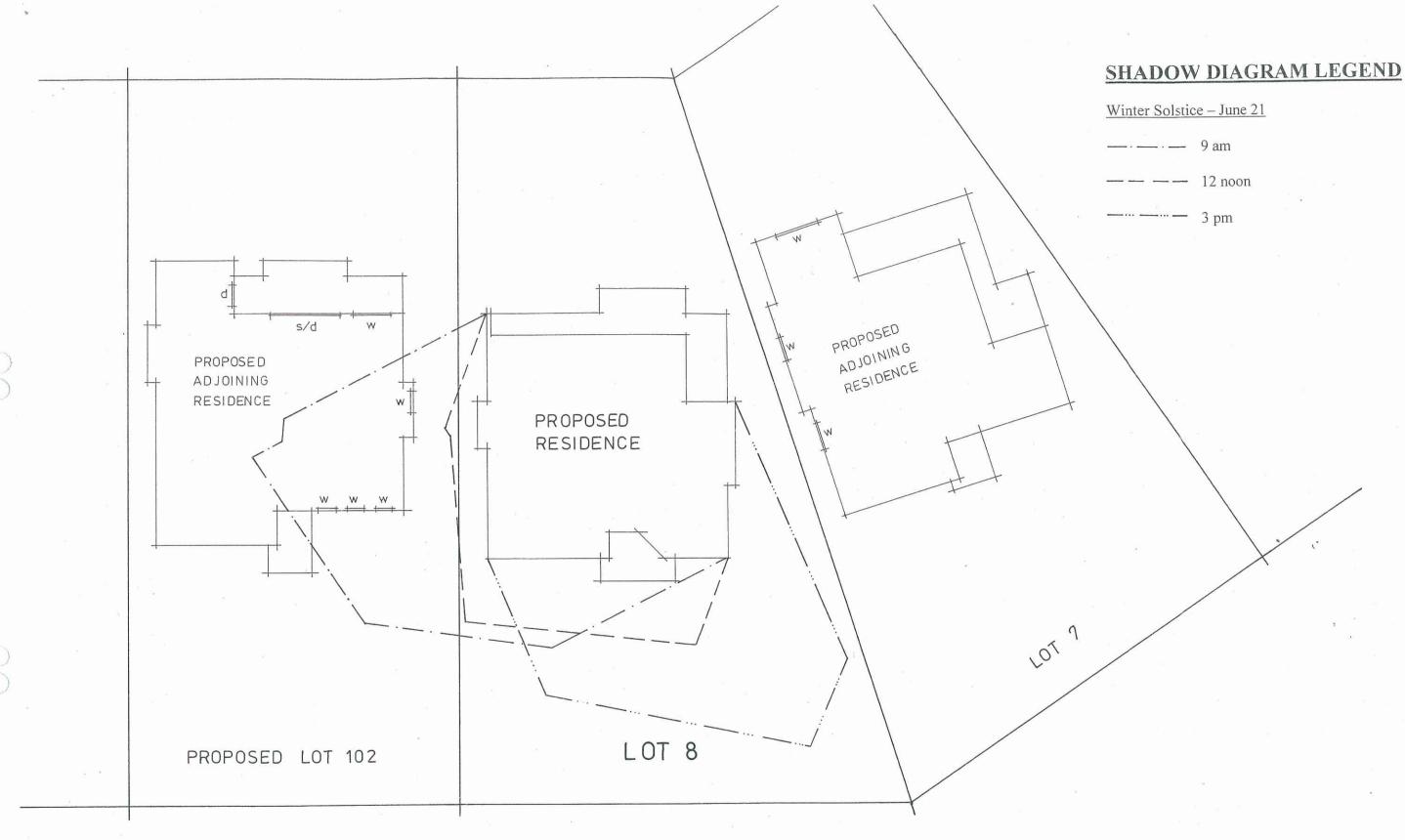


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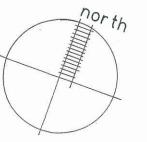
Drawing No 8 of 9



THE SCENIC ROAD

PROPOSED RESIDENTIAL DEVELOPMENT

SHADOW DIAGRAM 1:200



Location: LOT 8 in DP 25683

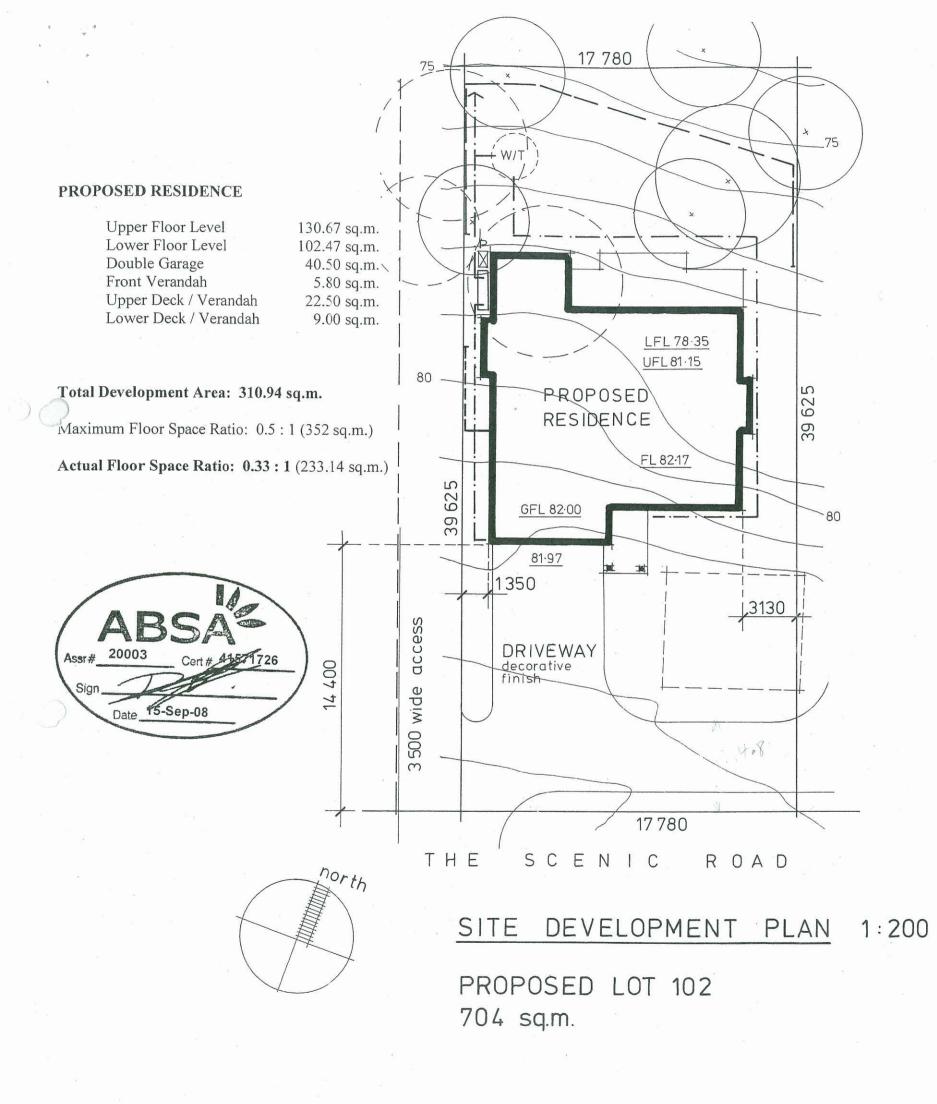
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Client: J. PEETZ & K. BLACKBURN.

September, 2008

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Drawing No 9 of 9



GENERAL NOTES

-			
Provide / install rainw selected by Client. Co	ater tanks as required by ABSA Specification and as onnect to water closets, laundry and external taps.		
Minima Minima	um 3000 litre water storage tank as required by Basix		
Insulation and constr Specification prepare	ruction to be in accordance with the ABSA / Basix ed by Solar Smart of Swansea.		
(W/T) Minim	um 10,000 litre static water supply tank		
P ⊠ Diesel j 30 metr	powered pump housed in a fire proof enclosure with a re Fire Hose located nearby		
All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.			
Retaining (to engi	ng wall as selected eg koppers logs / decorative blockwork neers details as required)		
——— Siltation	n control fencing to Council requirements		
Stormw	rater layout – diagrammatic only		
Water tank overflows to nutrient control facility	to be connected to the stormwater disposal system comprising of a and concrete head wall with inbuilt scour protection.		
An on-site sewer mana facility to be installed t	gement system comprising of a holding tank and 'pump out' to Council requirements.		
Existing	g trees to be retained ./ protected during construction		
Existing	g trees to be removed to allow for proposed residence		
81-97 Finished	d ground levels		
Existing	derelict structure to be removed		
Contractors to ensur with current ABSA a	re all Construction and Glazing is in accordance and Basix Certificate specifications.		

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 102

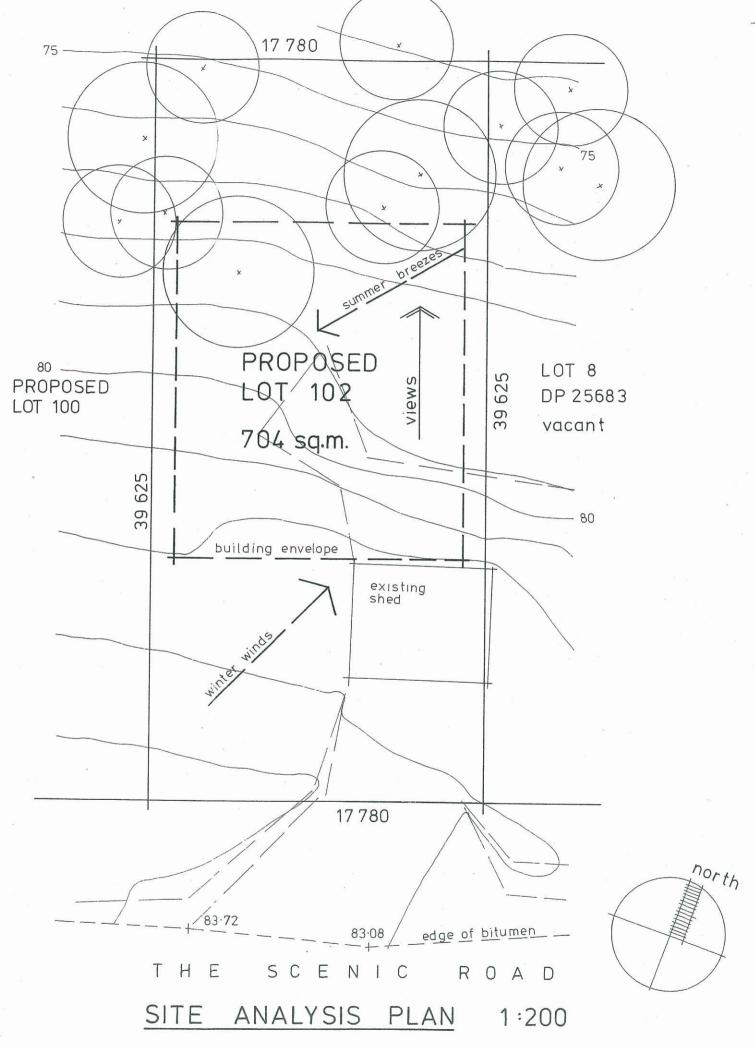
in Proposed Boundary Realignment of Lots 3, 4, 5, 6 and 9 in DP 25683 THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

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The site is currently vacant but has a derelict structure being within the site and the adjoining eastern property.

Site has consistent fall to the northern boundary

Contours at 1 metre intervals to AHD - refer Survey plan

Site is not subject to mines subsidence

Site is not subject to flooding

Site is not subject to easements / right of ways / restrictions / covenants

Site is not subject to natural watercourses or land features

Orientation of site to true north is shown

Views are to the northern area of the site

Existing trees have been shown on site

Prevailing summer breezes are from the north - east

Prevailing winter winds are from the south - west

Adjoining sites are currently vacant of residences but do have derelict structures

Water and electricity located in The Scenic Road

Site is not connected to the sewer and requires a 'pump out' disposal system

Building envelope as per Bushfire Assessment Report

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 102

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

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September, 2008

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Drawing No 2 of 9

GENERAL / CONSTRUCTION NOTES

Builder shall check all dimensions, levels and details on site before commencing work and adjust if required.

Figured dimensions to be taken in preference to scaling from drawings.

Construction shall be in accordance with the BCA and all relevant Australian Standards, Ordinances and Bylaws.

Siltation control to be maintained on site during construction to Council and Structural Engineers details.

Check position of building on site and adjust position / dimensions if required.

Development / construction to comply with Councils development consent and conditions.

All boundaries fully fenced with security fencing during construction and provided with fencing to match existing at completion of the development as required.

Waterproofing of wet areas to be in accordance with the BCA S ection 3.8 - Health and Amenity / Wet Areas and relevant parts of AS 3740.

Provide level eaves soffits to all residences.

Trim as required between ceiling joists for manhole access to roof space with position to be determined on site.

Provide mechanical ventilation to internal water closets and bathrooms as required.

Fire Protection

Provide automatic smoke detection / alarm system in accordance with BCA Section 3.7 - Fire Safety.

Termite Protection Method

Termite protection to all residential units shall be of the physical and chemical type with further detail supplied at the Building Certificate stage

Insulation and construction to be in accordance with the ABSA Specification prepared by Solar Smart of Swansea.

Basix Notes The Following Specifications Apply to this Development

RAINWATER TANK

- Min 3500litre capacity Rainwater tank to be installed to each dwelling in accordance with all relevant Authorities and Manufacturers Specifications, to be fed by runoff from at least 180square metres of roof.
- Rainwater Tank to be plumbed to Toilets, Laundry & Landscaping.

WATER FIXTURES

- 3Star Showers and Tapware to be installed
- 4Star Toilets to be installed.

HOT WATER SYSTEM

HWS - Solar Elec. Boost Min 26RECS

HEATING / COOLING

• Nil

VENTILATION / ELECTRICAL

- · Ind. fan, manual switch to Kitchen
- · Ducted fan, manual switch to Bathroom

LIGHTING

- Fluorescent Light Globes to Min. 2 Bedrooms
- Dedicated Fluorescent Light to Laundry

OTHER

- Outdoor Clothes line to be installed
- Kitchen Window Included in Design
- Contractors to ensure all Construction and glazing in accordance with Current ABSA and Basix Certificate specifications

specifications, these instances of that ele	Specifications shall take pre	tified Assessment is based, ecedence. If only one specifi ate specifications are detail	fication option is detailed for a l	ns. editications vary from other drawing pullding element, that specification re- ocation and extent of alternate spe-	nust apply to
	Product ID Glass	Frame .	U value	SHGC Area M Detail	
43m	Single clear			Jw<=7.727, SHGC 0.778+10	%
Skylights	Product ID Glass	Frame	U value	SHGC Area M Detail	
	75000 72 0100	Trans			
			RC. Alternate products or speci lues of the product specified at	fications may be used if lheir U value	ue is lower, a
External walls	Construction Insulation	on Colour -	- Solar absorptanc Detail		
Brick Veneer	R1.5	Light -Sa	A <0.475		
Internal walls	Construction Insulation	on Defail			, ,
Plasterboard on S					
Brick plastered	None			v	
Floors	Construction Insulation	n Coverin	g Detail		
Concrete	None .	Carpet			
Concrete	None	Ceramic	Tile		
Ceilings	Construction Insulation	on Detail			
Plasterboard	R3.0	As per d	detail on plans		and the second
Plasterboard	None	intermed	diate floor-ceilings		
Roof.	Construction Insulation	n Colour	Detail		
Roofing Tiles	Foil (Sisalat				
Window cover	Internal (curtains)		External (awnings, s.	hutters etc)	
None	mema (outers)		None		24 · 2
Fixed shading		ters, height above winde			
450 0	600mm Overall		100 percent	As per detail on plan	ns
Overshadowin	g Overshadowing stru	ctures	Overshadowing tree	S	
-	posure, Ventilation ar	Inti-ation			
Orientation of no	minal north 340		to entry. Yes	Ventilated skylights:	No
Post via ilativ	Din Chatter	Stair open to heat	raied by doors Yes led aleas: Yes	Open fire or unflued gas	
Nu ve laik	aniard)	Stair open to neat Seals to windows		Vented downlights. Wall and ceiling vents:	No No
C. MPTHE MAIN			and dedis. Tes	avail and centry vents.	INO
C ss ven vall of Subfloor ventilation	ACCOUNT TO THE PARTY AND	Exhaustrans with	out dan pers: No	,	

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 102

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

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September, 2008

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Drawing No 3 of 9

MATERIAL / CONSTRUCTION SCHEDULE

Floor

Reinforced concrete slabs to Engineers Details to lower floor level and garages with Waterproof membrane on sand bedding to underside of slab as required Floor slabs to be set down in wet areas

Trowel finish to all garage floors

Timber framed construction to upper floors / sheet flooring

Carpet / Sheet vinyl as selected

Ceramic floor tiles to wet areas

Walls

Brick veneer construction to external walls
Provide selected finish to brickwork eg. paint and / or rendered finish
Timber framed walls internally / plasterboard sheeting
Villaboard sheeting to walls of wet areas
Ceramic walls tiles to wet areas as selected
Insulation to external walls as per Basix requirements

Roof

Colorbond metal roof sheeting or Concrete roof tiles as selected
Timber roof construction / roof trusses as required
Plasterboard ceilings / cornices / paint finish
Fibrous cement sheeting to level eaves soffit / paint finish
'Colorbond' fascia gutter / downpipes as selected
Barge boards / gable fenestration as selected
Provide all necessary cappings, flashings, fixings to roof as required
Insulation to ceiling spaces as per Basix requirements

Windows

Aluminium framed windows / double hung, sliding and awning / colour as selected Provide obscure glass to all bathroom / water closet windows Aluminium sliding doors to match windows Provide flyscreens to all windows / doors

Doors

Solid core decorative entry doors as selected
Waterproof solid core external laundry door as required
Hollow core internal doors / selected finish
Cavity sliding doors to bathrooms / dressing rooms / laundries as required
Selected quarry tiles to all external door thresholds
Decorative roller doors to garages as selected

Verandahs / Decks

Reinforced concrete slabs to engineers detail with selected finish or

Timber framed construction with selected boarding – all to be fire retardant treated
'Hardies' FRC decorative posts and / or decorative timber posts to verandahs / entry
porches as required / selected – all to be fire retardant treated
Stainless steel wire balustrades or fire retardant treated material as selected

Construction and insulation as per ABSA Specification as prepared by Solar Smart of Swansea.

FIRE REQUIREMENTS - LEVEL 3 CONSTRUCTION

All work to be done in accordance and must comply with AS 3959-1999 – 'Construction of Buildings in Bushfire Prone Areas'.

All deck areas to be constructed of fire—retardant treated timber with support posts to be mounted on galvanized metal shoes with a minimum ground clearance of 75mm.

Decking timbers shall be fire-retardant treated timber and have a minimum clearance of 5mm between adjacent timbers with decking timbers to be clear of the residence. Balustrade construction to be non-combustible.

To external timber famed walls provide breather type sarking as per AS 4200.1 with a flammability index of not more than 5 immediately behind external cladding or an insulation material conforming to the appropriate Australian standard for that material.

All openable windows and doors shall be screened with corrosion –resistant steel or bronze mesh with a maximum aperture size of 1.8mm.

Windows and doors in the Level 3 construction zone to be glazed with toughened glass and complying with the ABSA requirements.

All external doors to be solid core of not less than 35mm thickness and being fitted with weather strips or draught excluders to prevent the penetration or build up of burning debris beneath the door.

Vents and weepholes shall be protected with spark guards made from corrosion—resistant steel or bronze mesh with maximum aperture size of 1.8mm.

The roof / wall junction shall be sealed by the use of fascias and eaves linings or by sealing the gaps between the rafters with a suitable non-combustible material. All eaves shall be fully enclosed and the fascia or the gaps between the rafters fully sealed. Fascias to be non-combustible or of fire-retardant treated timber.

Tiled roofs to be fully sarked and located directly below the tiling battens and shall cover the entire roof area including the ridge. Sarking shall have a flammability of not more than 5 – refer to AS 1530.2

Metal roofs to be fully sarked with rib gaps and ridge capping to be fully sealed.

Gutters and roof valleys shall have gutter guard or similar with a flammability index of not greater than 5 - refer to AS 1530.2

All fire protection requirements to be done in accordance with the Bushfire Protection Assessment report as prepared by Australian Bushfire Protection Planners Pty Limited of Somersby.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 102

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

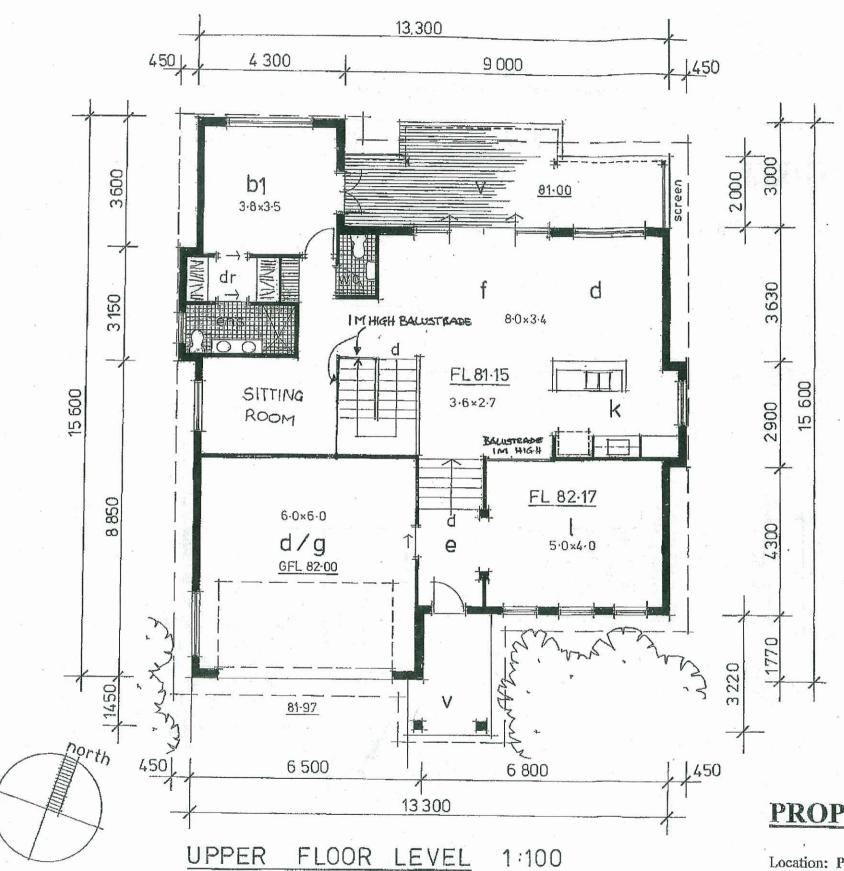
THE SCENIC ROAD, MACMASTERS BEACH.

Client: J. PEETZ & K. BLACKBURN.

September, 2008

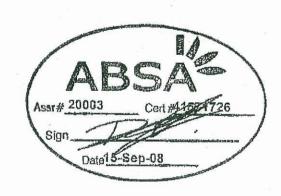
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Drawing No 4 of 9



Contractors to ensure all Construction and Glazing is in accordance

with current ABSA and Basix Certificate specifications.



PROPOSED RESIDENTIAL DEVELOPMENT

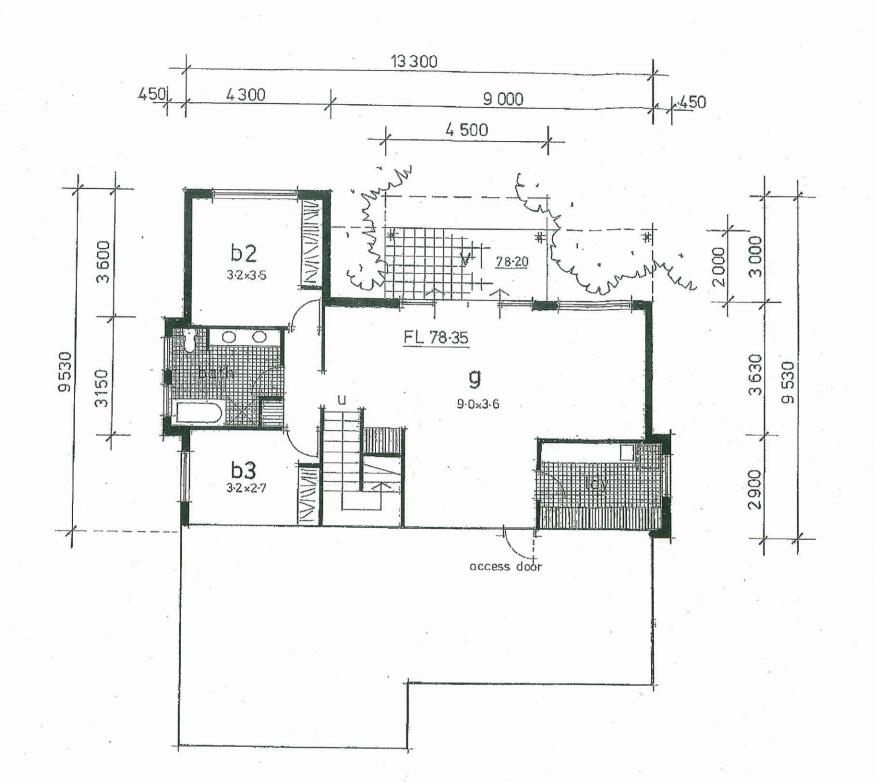
Location: PROPOSED LOT 102

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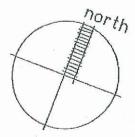
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LOWER FLOOR LEVEL 1:100

Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Amended July 2010

PROPOSED RESIDENTIAL DEVELOPMENT

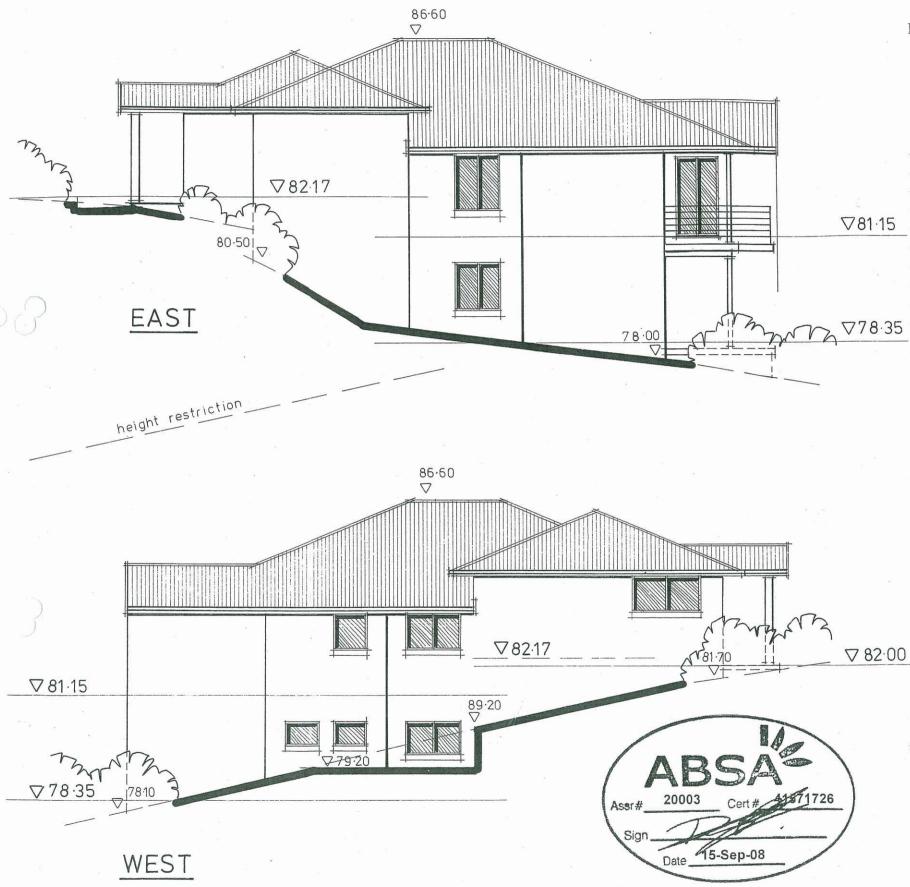
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Client: J. PEETZ & K. BLACKBURN.

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Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

ALUMINIUM WINDOW SCHEDULE

Window sizes indicated are standard frame sizes and stud opening sizes are to be confirmed / adjusted with the selected manufacturer.

Legend

Sliding	S/W
Double hung	D/H
Awning	A/W
Obscure Glass	O/G

	Location	Height	Width	Comment
Wl	Lounge	1800	900	D/H
W2	Lounge	1800	900	D/H
W3	Lounge	1800	900	D/H
W4	Kitchen	1500	1200	S/W
-W5	Dining	1500	2100	S/W
W6	Bedroom 1	1200	2400	S/W
W7	Ensuite	900	900	A/W - O/G
W8	Study	900	1500	S/W
W9	Games Room	900	1800	S/W
W10	Laundry	1200	1200	S/W
W11	Bedroom 3	1200	2100	S/W
W12	Bedroom 2	1200	2400	S/W
W13	Bathroom	600	900	A/W - O/G
W14	Bathroom	600	900	A/W - O/G
W15	Bedroom 4	900	1500	S/W

ALUMINIUM SLIDING DOOR SCHEDULE

Aluminium sliding door sizes are indicated as frame sizes and stud opening sizes are to be confirmed / adjusted with selected manufacturer.

All sliding doors to be 2100 high.

Location	Width
Family	3600
Bedroom 1	1200 - French doors
Games Room	3600

All windows / sliding doors to be in accordance with BCA, Standards Association of Australia the ABSA Specification / Requirements and the recommendations of the Bushfire Protection Asssessment Report and AS 3959 – 1999 'Construction of Buildings in Bushfire Prone Areas.

PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 102

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

THE SCENIC ROAD, MACMASTERS BEACH.

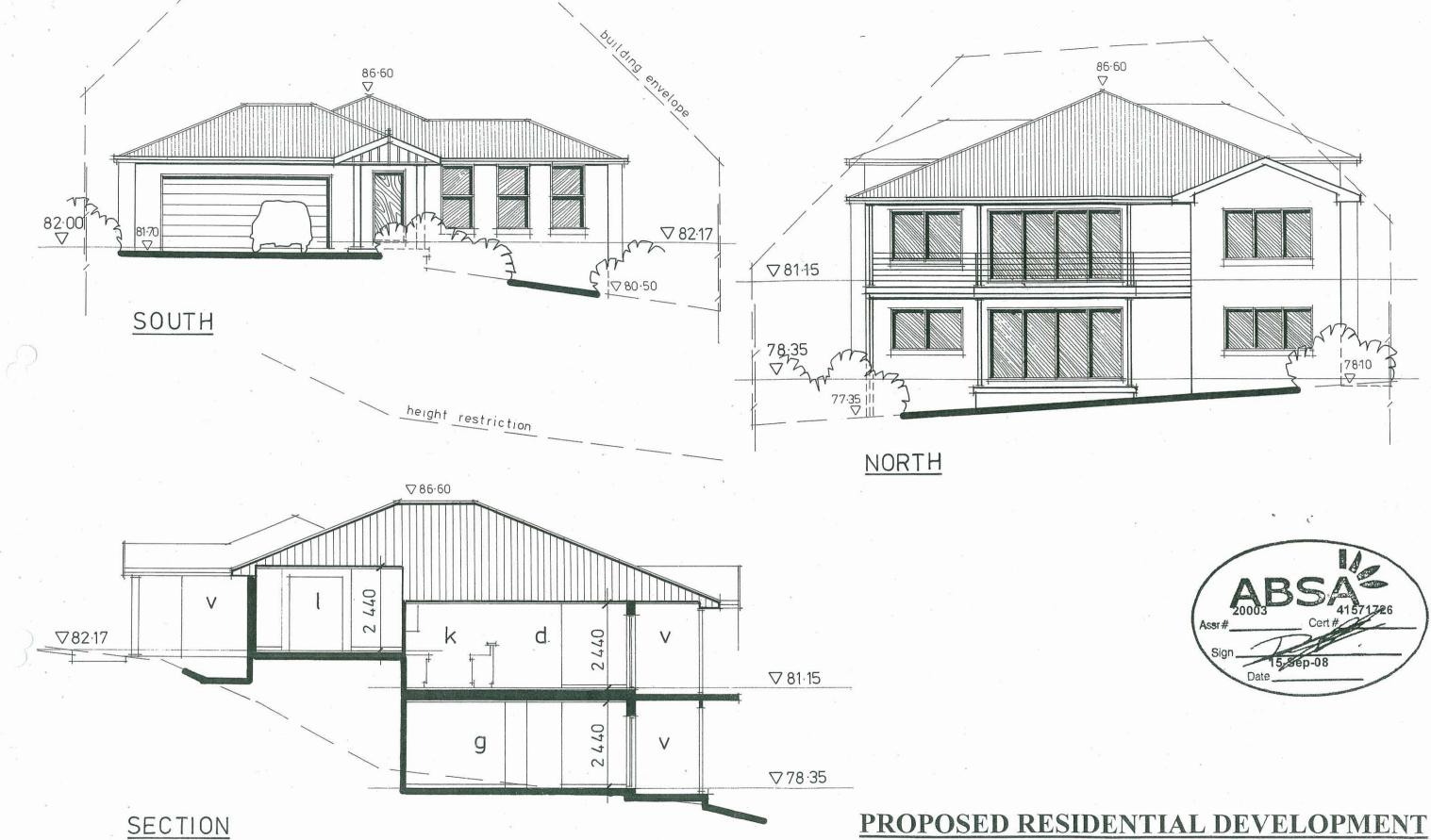
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Drawing No 7 of 9

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Contractors to ensure all Construction and Glazing is in accordance with current ABSA and Basix Certificate specifications.

Location: PROPOSED LOT 102

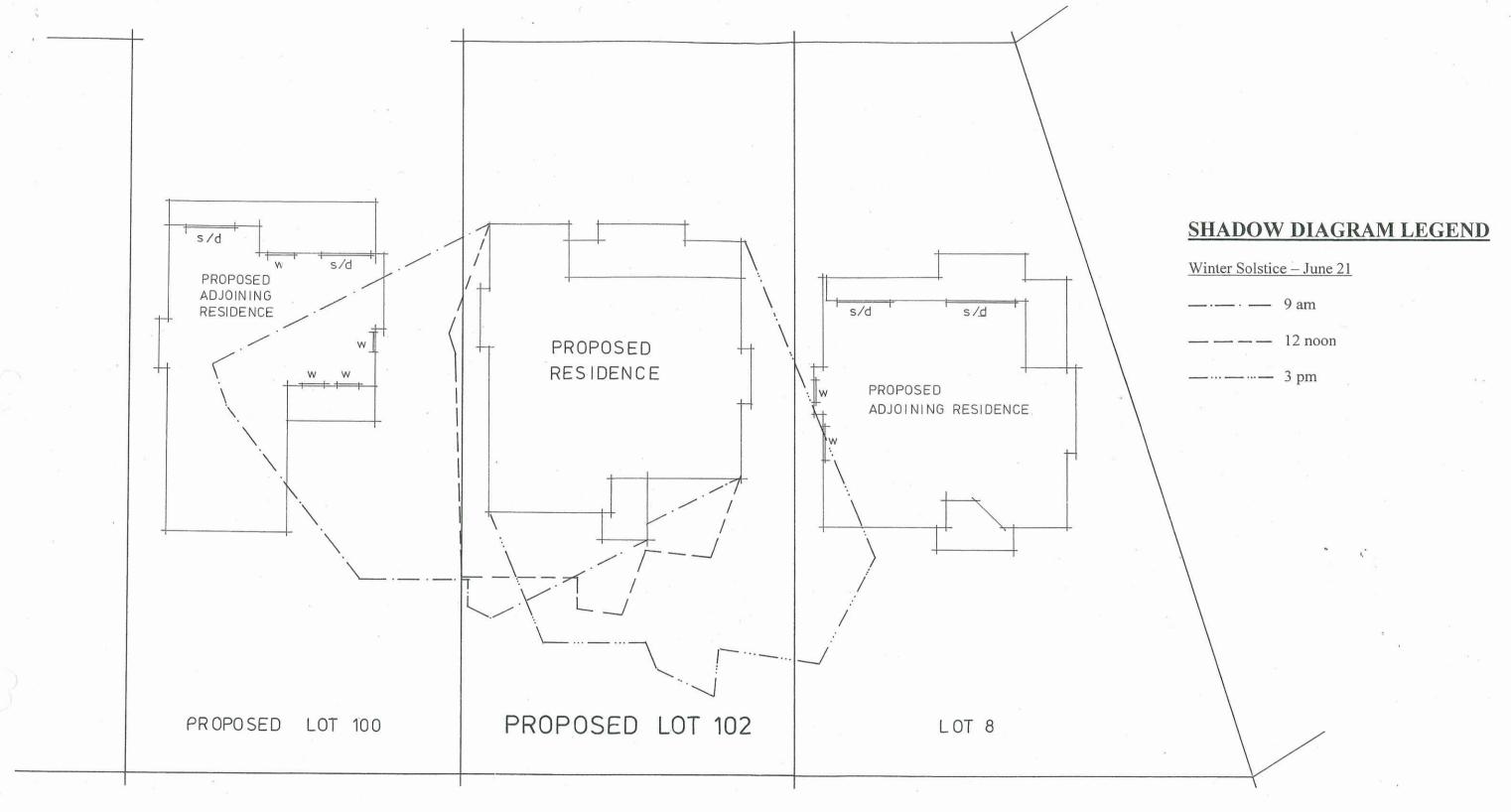
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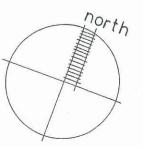
Drawing No 8 of 9



THE SCENIC ROAD

SHADOW DIAGRAM

1:200



PROPOSED RESIDENTIAL DEVELOPMENT

Location: PROPOSED LOT 102

in Proposed Boundary Realignment of Lots 3, 4. 5. 6 and 9 in DP 25683

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